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August 3, 2016

Jena Choi
JPB Partners, Inc.
3470 Wilshire Boulevard, Suite 700
Los Angeles, California 90010

Subject: Historical Resources Impacts Analysis for 3875 Wilshire Boulevard, Los Angeles, CA 90020

Dear Ms. Choi:

Environmental Science Associates and PCR Services Corporation ("ESA PCR") appreciates the opportunity to submit this letter report to JPB Partners, Inc. ("Client") which summarizes and documents the results of a Historical Resources CEQA Impacts Analysis ("Report") for the proposed project ("Project") located at 3875 Wilshire Boulevard, Los Angeles, California ("Project Site"), assessor parcel numbers ("APN") 5503-032-010 and 5503-032-011. The Project Site is situated in the Westminster Place Tract, Block G, Lots 13, 14, 15, and 16, at the northeast corner Wilshire Boulevard and South Andrews Place.

This Report was conducted by ESA PCR's architectural historians, including Margarita C. Jerabek, Ph.D., Director of Historic Resources, Amanda Y. Kainer, M.S., Senior Architectural Historian, and Adam F. Rajper, M.S., Assistant Architectural Historian, all of whom meet and exceed the Secretary of the Interior's Professional Qualification Standards in history and architectural history. Professional qualifications are provided in Attachment A.

On April 12, 2016, ESA PCR conducted an intensive pedestrian survey to document the existing conditions of the Project Site and vicinity, conducted an archival records search to identify known historical resources in the vicinity that may be indirectly impacted visually by the project, and reviewed Project plans provided by the Client.

Project Description

This analysis is required by the City of Los Angeles as part of the review process for a Project that would redevelop the northern portion of the Project Site, currently improved with an asphalt parking lot. The southern portion of the Project Site is occupied by the fourteen-story Wilshire Professional Building designed by architect Arthur E. Harvey in the Art Deco, Zigzag Moderne style and constructed in 1929 ("Wilshire Professional Building" or "Building"). The Project would redevelop the parking lot on the Project Site with a sixteen-story multi-family residential building consisting of 196 units above a five and one-half level parking garage, with the lower two and one-half levels of the garage below grade. Amenities in the proposed building would include a lobby and lounge on the ground floor, as well as a fitness area and deck on the roof level. At approximately 183 feet tall, the proposed building on the Project Site would be approximately the same height as the Wilshire Professional Building. The proposed building would also maintain an approximately twenty foot separation from

the base of the Wilshire Professional Building. In total, the proposed building would contain approximately 205,100 square feet. The Wilshire Professional Building would be retained and not be physically altered or connected to the Project above grade level. However, the Project would construct a connection between the first subterranean parking level of the proposed building and the subterranean parking garage of the Wilshire Professional Building. Project plans are included in Attachment B.

Historical Resources in the Project Vicinity

Located within a dense, urban setting, with limited visibility, the archival records search was conducted within a quarter (0.25) mile radius to capture all known resources within the Project vicinity which may have views of the Project Site for the purpose of analyzing potential indirect impacts. The archival records search involved review of ESA PCR's in-house files and review of the National Register of Historic Places ("National Register"), California Register of Historical Resources ("California Register"), California Historic Resources Inventory ("HRI"), SurveyLA, and City of Los Angeles Historic-Cultural Monument ("HCM") databases to identify previously identified historical resources within the Project vicinity. As a result, the following 14 known historical resources were identified within the project vicinity. Of these, 11 would have no views of the Project Site, one (1) would have an indirect view of the Project Site, and two (2) would have direct views of the Project Site.

One (1) property has been listed on the National Register, the California Register, and designated as an HCM:

- 652-676 South Western Avenue: Pellisser Building and Wiltern Theater, Art Deco complex designed by Morgan, Walls & Clements and constructed in 1931(HCM 118). Approximately 0.14 miles (740 feet) southeast of Project Site; indirect view of Project Site.

Three (3) properties have been designated as HCMs:

- 3835 West 8th Street: Arwyn Manor, Period Revival multi-family residential building designed by architect C. W. Powers and constructed in 1928 (HCM 878). Approximately 0.25 miles (1,320 feet) southeast of Project Site; **no view** of the Project Site.

- 3919 West 8th Street: Richardson Apartments, Streamline Moderne multi-family residential building designed by architects H. Guthrie Thursby and Milton J. Black and constructed in 1940 (HCM 847). Approximately 0.25 miles (1,320 feet) southwest of Project Site; **no view** of the Project Site.

- 535 South Gramercy Place: Art Deco multi-family residential building designed by architect Paul Kingsbury and constructed in 1931 (HCM 853). Approximately 0.15 miles (792 feet) northwest of Project Site; **no view** of the Project Site.

Eight (8) properties appear eligible for the National Register (3S), California Register (3CS), and local listing (5S3) as an individual property through SurveyLA (2014-ongoing) and/or the Wilshire Center and Koreatown Recovery Redevelopment Area Historic Resources Survey (2009):

- 701 South Gramercy Drive: Ancelle, Mediterranean Revival multi-family residential building constructed in 1926. Approximately 0.16 miles (845 feet) southwest of the Project Site; **no view** of the Project Site.

- 729 South Gramercy Drive: Coral, Dingbat multi-family residential building constructed in 1958. Approximately 0.22 (1,162 feet) southwest of the Project Site; **no view** of the Project Site.

- 715 South Saint Andrews Place: Chateauesque multi-family residential building constructed in 1927. Approximately 0.18 miles (950 feet) south of the Project Site; **no view** of the Project Site.

- 735 South Saint Andrews Place: Case Bella, Spanish Colonial Revival multi-family residential building constructed in 1928. Approximately 0.23 miles (1,214 feet) south of the Project Site; **no view** of Project Site.

- 602 South Van Ness Avenue: Mediterranean Revival multi-family residential building constructed in 1929. Approximately 0.21 (1,109 feet) northwest of the Project Site; **no view** of the Project Site.

- 4016 West Wilshire Boulevard: French Revival single-family residence constructed in 1918. Approximately 015 miles (792 feet) west of the Project Site; **no view** of the Project Site.

- 4017 West Wilshire Boulevard: Mid-Century Modern commercial building constructed in 1949. Approximately 0.22 miles (1,162 feet) west of the Project Site; **no view** of the Project Site.

- 712 South Wilton Place: Tufford Arms Apartments, Tudor Revival multi-family residential building constructed in 1928. Approximately 0.24 (1,267 feet) southwest of the Project Site; **no view** of the Project Site.

Two properties (2) were identified in the California HRI as needing to be reevaluated (7N):

- 627-635 South Manhattan Place: Los Angeles Christ Church constructed in 1924. Approximately 0 miles (0 feet) east of the Project Site; **direct view** of the Project Site.

- 3903 Wilshire Boulevard: St. James Episcopal Church constructed in 1925. Approximately 0.01 miles (53 feet) west of the Project Site; **direct view** of the Project Site.

Previous Evaluations of the Wilshire Professional Building, 3875 Wilshire Boulevard

During the 1920s, commercial real estate values in the Wilshire Center soared and Wilshire Boulevard gained its moniker, "Fifth Avenue of the West."[1] An array of newly built commercial buildings and their associated neon signs began to visually define Wilshire Boulevard from its surroundings. The Wilshire Professional Building, designed by noted local architect Arthur E. Harvey and constructed in 1929, is one such example. This fourteen-story Zigzag Moderne commercial high-rise, mainly intended to house medical and dental offices, was also the location of Harvey's architectural practice.[2]

The Wilshire Professional Building was added to the City of Los Angeles's HCM list on April 28, 2015 after it was found by the Cultural Heritage Commission ("CHC") to exhibit the character-defining features of the Art Deco, Zigzag Moderne style.[3] Previously, during the Wilshire Center and Koreatown Recovery Redevelopment Area Historic Resources Survey (2009), the Building was assigned a California Historical Resources ("CHR") Status Code of 3CS, noting it as individually eligible for listing on the California Register under Criterion 3 (Attachment C).[4] The Building embodies a number of distinctive Zigzag Moderne character-defining features, including a tiered massing, molded concrete cladding and metal spandrels featuring stylized geometric motifs, and steel-framed windows.

Architectural Description of the Project Site

Historic Appearance and Alterations of the Project Site

Prior to the construction of the Wilshire Professional Building, the northernmost portion of the parcel was improved with a two-story multi-family residential building. This building was demolished (probably when the Building was constructed, based upon historic photographs, Figure 1) in order to accommodate the parking lot presently on the parcel.

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1 "Soaring Wilshire Values Told," Los Angeles Times, April 8, 1928, P. E7.

2 Los Angeles Conservancy, "Wilshire Professional Building," accessed April 18, 2016, https://www.laconservancy.org/locations/wilshire-professional-building

3 Art Deco Society of Los Angeles (applicant) and Charles Fisher (preparer), Historic-Cultural Monument Application for the Wilshire Professional Building, September 4, 2014
Cultural Heritage Commission, Los Angeles Department of City Planning Recommendation Report, Case No: CHC-2014-3202-HCM, February 17, 2015.

4 In the Wilshire Center and Korea Recovery Redevelopment Area Survey, the Wilshire Professional Building is erroneously identified as the "Wilshire Medical Building."

The HCM application for the Building (Attachment D) notes several alterations, which are summarized as follows.[5] The Building's ground floor and main entrance on the primary (south) elevation have been altered, and a roof-top structure has also been added to the east shoulder of the same elevation (Figures 2 and 3). The ground floor is also altered on the east and rear (north) elevations (Figures 4-7). The rear (south) entrance appears to be altered, and a concrete canopy, directly above it, may also have been added (Figure 6). Despite these alterations, the dates of which are unknown, the Building retains integrity of location, design, materials, workmanship, feeling, and association from the period of significance.

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5 Art Deco Society of Los Angeles (applicant) and Charles Fisher (preparer), Historic-Cultural Monument Application for the Wilshire Professional Building, September 4, 2014

5. Cultural Heritage Commission, Los Angeles Department of City Planning Recommendation Report, Case No: CHC-2014-3202-HCM, February 17, 2015.

Figure 1. Wilshire Professional Building, view northeast from Wilshire Boulevard, in 1929 (Los Angeles Public Library).

Current Appearance of the Project Site

The Project Site is located at the northeast corner of the intersection of Wilshire Boulevard and South Andrews Place. The Wilshire Professional Building is situated at the southern end of the Project Site and overlooks Wilshire Boulevard and Saint Andrews Place. An asphalt parking lot, which fronts the east side of South Saint Andrews Place, occupies the northern portion of the Project Site. The parking lot is overlooked from the south by the Building (Figure 7), the east by Christ Church (constructed in 1924, Figure 8) and the north by a six-story multi-family residential building (constructed in 1926, Figure 9). Directly to the west if the Project Site, at the northwest corner of the intersection of Wilshire Boulevard and South Saint Andrews Place, stands Saint James Episcopal Church (constructed in 1925, Figure 10). Current photographs of the Project Site are presented in Figures 2 to 10 below.

The Cultural Heritage Commission describes the Wilshire Professional Building as follows in its review of the HCM application:

> The Wilshire Professional Building has a regular, rectangular plan and is faced primarily with molded concrete, cast iron, and steel-framed windows. It is massed in three tiers: a one-story base extending over the parcel, a six-story, rectangular massing in the center, and a six-story, square tower on the top. It is articulated to appear as a central square tower rising from the base, flanked by two shoulders of smaller, shorter towers. Bands of steel awning windows and decorative panels, crossed by unbroken columns of thick concrete, define the bulk of the façade. The ground floor's original face is covered in stucco cladding and contemporary signage and awnings [alternation]. The second floor, set back from the ground floor, features pairs of steel awning windows stacked upon each other between elaborate concrete pillars molded in a stylized floral motif. Running above both is a large, projecting concrete band with curving ridges and carved floral patterns on its face. Above the second floor, bands of steel awning windows run horizontally across the building. Above those are bands of decorative metal panels, cast in elaborate floral patterns. Thick, plain concrete columns, scored to resemble stone blocks, extend unbroken and divide the building vertically. The roof-line of the shoulders and the central tower are elaborately decorated with capital and pediment structures echoing forms found elsewhere on the building. The central tower is topped by a penthouse. Multiple angular, flying buttresses surround it and separate divided steel windows set in plain, segmented arches. The buttresses support a cornice below a sloping, concrete band upon which the pyramidal roof sits. Concrete flowers and a beacon stop a floral base adorn the roof.[6]

The lower portion of the east elevation of the Building is obstructed from view from the public right of way on Wilshire Boulevard due to a contemporary commercial building which is located immediately to its east.

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6 Art Deco Society of Los Angeles (applicant) and Charles Fisher (preparer), Historic-Cultural Monument Application for the Wilshire Professional Building, September 4, 2014
Cultural Heritage Commission, Los Angeles Department of City Planning Recommendation Report, Case No: CHC-2014-3202-HCM, February 17, 2015.

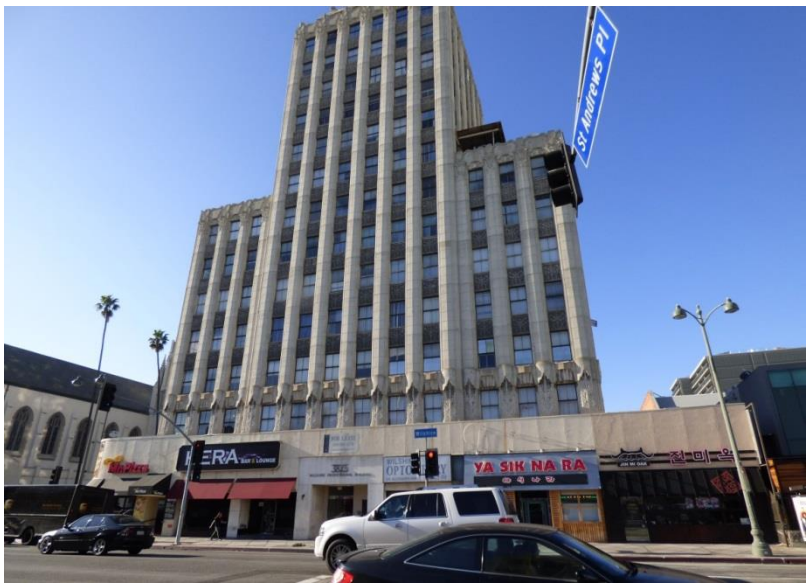

Figure 2. Contemporary view of Wilshire Professional building, view northwest from Wilshire Boulevard. Note the altered (date unknown) first floor and main entrance, as well as the rooftop structure (alteration, date unknown) added on the east side (right) (ESA PCR 2016).

Figure 3. Primary (south) elevation of Wilshire Professional Building, view north from Wilshire Boulevard, showing altered ground floor and roof-top structure (upper right, alteration) (ESA PCR 2016)

Figure 4. West elevation of Wilshire Professional Building, view east from South Saint Andrews Place, showing altered ground floor (ESA PCR 2016)

Figure 5. Rear elevation of Wilshire Professional Building, view south, showing altered ground floor (ESA PCR 2016)

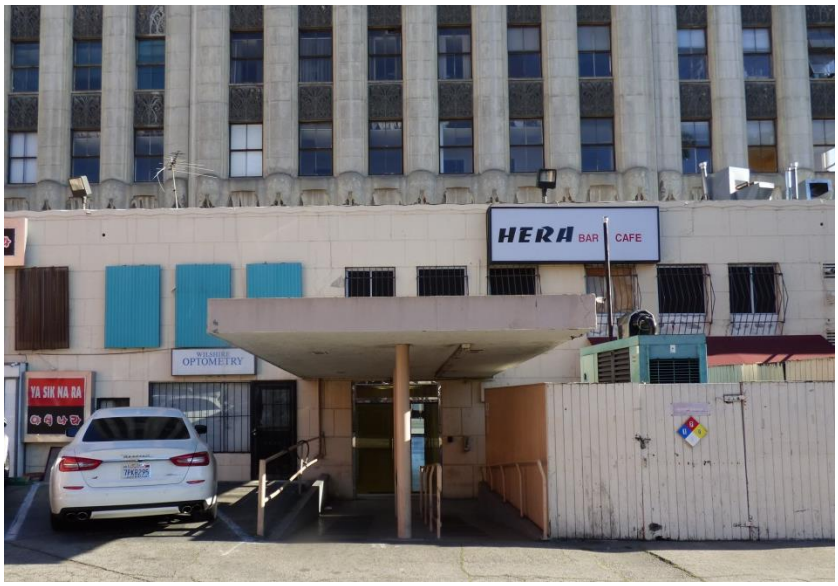

Figure 6. Rear elevation of Wilshire Professional Building, view south, showing rear entrance (possibly altered) and concrete canopy (possible alteration) (ESA PCR 2016)

Figure 7. Rear (south) elevation of Wilshire Professional Building, view south from asphalt parking lot at north end of Project Site (ESA PCR 2016)

Figure 8. Project Site, view east from South Andrews Place, showing rear (east) elevation of Christ Church (center, not on Project Site) (ESA PCR 2016)

Figure 9. View north from Project Site, showing six-story multi-family residential building in distance (center, not on Project Site) (ESA PCR 2016)

Figure 10. View West from Project Site, showing James Episcopal Church in distance (not on Project Site) (ESA PCR 2016)

Character-Defining Features of the Wilshire Professional Building, 3875 Wilshire Boulevard

The following list of character defining features is a summary of the visual character of the exterior of the Wilshire Public Building, including the site plan and landscape. According to the National Park Service, "character refers to all those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment."[7] Only significant exterior character-defining features are listed here as these are the features potentially impacted by the proposed Project.

As mentioned above, the Wilshire Professional Building is a City of Los Angeles HCM exhibiting the character-defining features of the Art Deco, Zigzag Moderne style. Previously, during the Wilshire Center and Koreatown Recovery Redevelopment Area Historic Resources Survey (2009), the Building was assigned a CHR Status Code of 3CS, noting it as individually eligible for listing on the California Register under Criterion 3 as a good example of its style.

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7 Lee H. Nelson, Preservation Brief 17: Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character, National Park Service, September 1988, http://www.nps.gov/tps/how-to-preserve/briefs/17-architectural-character.htm, accessed June 4, 2015.

Described below are the significant character-defining elevations and features of the Wilshire Professional Building dating from the period of significance that account for its eligibility as a historical resource. ESA PCR identified Building's period of significance as 1929, its date of construction, as the HCM application does not specify a period of significance. Significant character-defining elevations and features represent the original period of significance, are visually prominent, and retain high integrity. Described underneath each significant or contributing elevation or feature is a list of elements or characteristics that contribute to the visual character and architectural significance of the elevation or feature from its period of significance. Non-contributing elevations and features were not identified; however, non-contributing alterations located on identified significant or contributing elevations are in italics (*italics*). If an elevation or feature is not listed below as significant or contributing, it can be assumed that the elevation or feature is non-contributing.

Significant: Massing and Construction

- Regular, rectangular plan
- Tiered massing
- Fourteen stories
- Exterior cladding materials, including stucco, molded concrete, and cast iron
- Pyramidal roof
- Flat roofs

Significant: Site Plan and Landscape

- Rectangular footprint
- Corner siting and setback from sidewalk
- Terrazzo sidewalk along Wilshire Boulevard

Significant: South (Primary) Elevation

- Symmetrical façade composition, with central tower flanked by two shoulders of smaller, shorter towers
- One-story base with stucco cladding
- Upper stories (three towers) with molded concrete (scored to resemble stone blocks) and cast iron cladding

- Vertical molded concrete elements, resembling columns, dividing façade into bays and topped with stylized capitals
- Metal spandrels featuring stylized geometric motifs
- Steel-framed, four light awning windows
- Steel-framed windows set in segmented arches (rooftop penthouse)
- Angular flying buttresses (rooftop penthouse)
- Molded concrete along second floor adorned with intricate, stylized geometric motifs
- Molded concrete above roofline of central tower and flanking shoulders featuring stylized geometric motifs
- Cornice above penthouse
- Sloping concrete band, below pyramidal roof, featuring zigzag motif

(Non-contributing additions/alterations: entrance, storefronts, signage, rooftop structure on east shoulder)

Significant: West Elevation

- Overall symmetrical façade composition with central tower rising above shorter shoulder
- Symmetry offset by one-story base which extends to the west
- One-story base with round corner and stucco cladding
- Upper stories (towers) with molded concrete (scored to resemble stone blocks) and cast iron cladding
- Vertical molded concrete elements, resembling columns, dividing façade into bays and topped with stylized capitals
- Metal spandrels featuring stylized geometric motifs
- Steel-framed, four light awning windows
- Steel-framed windows set in segmented arches (rooftop penthouse)
- Angular flying buttresses (rooftop penthouse)
- Molded concrete along second floor adorned with intricate, stylized geometric motifs

- Molded concrete above roofline of central tower and flanking shoulders featuring stylized geometric motifs
- Cornice above penthouse
- Sloping concrete band, below pyramidal roof, featuring zigzag motif

(Non-contributing additions/alterations: storefronts, signage)

Contributing: East Elevation

- Overall symmetrical façade composition with central tower rising above shorter shoulder
- Symmetry offset by one-story base which extends to the west
- One-story base with stucco cladding
- Upper stories (towers) with molded concrete (scored to resemble stone blocks) and cast iron cladding
- Vertical molded concrete elements, resembling columns, dividing façade into bays and topped with stylized capitals
- Metal spandrels featuring stylized geometric motifs
- Steel-framed, four light awning windows
- Steel-framed windows set in segmented arches (rooftop penthouse)
- Angular flying buttresses (rooftop penthouse)
- Molded concrete along second floor adorned with intricate, stylized geometric motifs
- Molded concrete above roofline of central tower and flanking shoulders featuring stylized geometric motifs
- Cornice above penthouse
- Sloping concrete band, below pyramidal roof, featuring zigzag motif

(Non-contributing additions/alterations: signage, rooftop structure on east shoulder)

Contributing: North (Rear) Elevation

- Symmetrical façade composition, with central tower flanked by two shoulders of smaller, shorter towers
- One-story base with rounded corners and stucco cladding

- Upper stories (three towers) with molded concrete (scored to resemble stone blocks) and cast iron cladding
- Vertical molded concrete elements, resembling columns, dividing façade into bays and topped with stylized capitals
- Metal spandrels featuring stylized geometric motifs
- Steel-framed, four light awning windows
- Steel-framed windows set in segmented arches (rooftop penthouse)
- Angular flying buttresses (rooftop penthouse)
- Molded concrete along second floor adorned with intricate, stylized geometric motifs
- Molded concrete above roofline of central tower and flanking shoulders featuring stylized geometric motifs
- Cornice above penthouse
- Sloping concrete band, below pyramidal roof, featuring zigzag motif

(Non-contributing additions/alterations: entrance, concrete canopy above entrance, storefronts, fenced area at northeast corner concealing HVAC equipment, signage, rooftop structure on east shoulder)

CEQA Analysis

The following list of character defining features is a summary of the visual character of the exterior of the Wilshire Public Building, including the site plan and landscape. According to the National Park Service, "character refers to all those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment."[8] Only significant exterior character-defining features are listed here as these are the features potentially impacted by the proposed Project.

[8] Lee H. Nelson, Preservation Brief 17: Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character, National Park Service, September 1988, http://www.nps.gov/tps/how-to-preserve/briefs/17-architectural-character.htm, accessed June 4, 2015.

A. Significance Thresholds

The thresholds for determining the significance of environmental effects on historical resources identified below are derived from the CEQA Guidelines as defined in §15064.5 and the City of Los Angeles CEQA Thresholds Guide. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register or as a HCM would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.[9]

1. CEQA Guidelines

According to the State *CEQA Guidelines,* Section 15064.5(b) a project involves a "substantial adverse change" in the significance of the resource when one or more of the following occurs:

- Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.

- The significance of a historical resource is materially impaired when a project:

  A. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the California Register of Historical Resources; or

  B. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the PRC or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the PRC, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or

  C. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

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9 L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1 (http://environmentla.org/programs/Thresholds/D- Cultural%20Resources.pdf, accessed 6/04/2013)

The *L.A. CEQA Thresholds Guide* states that a project would normally have a significant impact on a significant resource if it would cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5 of the State *CEQA Guidelines* when one or more of the following occurs:

- Demolition of a significant resource that does not maintain the integrity and significance of a significant resource;
- Relocation that does not maintain the integrity and significance of a significant resource;
- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings ("Standards"); or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.[10]

Under CEQA, a proposed development must be evaluated to determine how it may impact the potential eligibility of a structure(s) or a site for designation as a historic resource. The Standards were developed as a means to evaluate and approve work for federal grants for historic buildings and then for the federal rehabilitation tax credit (see 36 Code of Federal Regulations ("CFR") Section 67.7). Similarly, the Los Angeles Cultural Heritage Ordinance provides that compliance with the Standards is part of the process for review and approval by the Cultural Heritage Commission of proposed alterations to City Historic-Cultural Monuments (see Los Angeles Administrative Code Section 22.171.14.a.1). Therefore, the Standards are used for regulatory approvals for designated resources but not for resource evaluations.[11] Similarly, CEQA recognizes the value of the Standards by using them to demonstrate that a project may be approved without an EIR. In effect, CEQA has a "safe harbor" by providing either a categorical exemption or a negative declaration for a project which meets the Standards (see State *CEQA Guidelines* Section 15331 and 15064.5(b)(3)).

Based on the above considerations, the factors listed in the *L.A. CEQA Thresholds Guide* have been reviewed and refined for this analysis.[12] As such, the Project would have a significant impact on historic resources, if:

HIST-1 The Project would demolish, destroy, relocate, or alter a historical resource such that eligibility for listing on a register of historical resources would be lost (i.e., no longer eligible for listing as a historic resource); or

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10 L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1 (http://environmentla.org/programs/Thresholds/D- Cultural%20Resources.pdf, accessed 6/04/2013)

11 Century Plaza Hotel EIR, Appendix IV.D-3, Historic Thresholds Letter, from Michael J. Logrande, Director of Planning and Ken Bernstein, Manager, Office of Historic Resources, City of Los Angeles, to Bruce Lackow, President, Matrix Environmental, Los Angeles, California, December 15, 2010.

12 As documented in the Assessment Report in Appendix F-3 of this Draft EIR, the refinements to the factors listed in the L.A. CEQA Thresholds Guide were concurred with by the City Planning Department's Office of Historic Resources.

HIST-2 The Project would reduce the integrity or significance of important historic resources on the Project Site or in the vicinity such that their eligibility for listing on a register of historical resources would be lost (i.e., no longer eligible for listing as a historic resource).

B. Analysis of Project Impacts

1. Project Description

The Project Site is located at the northeast corner of Wilshire Boulevard and South Andrews Place. Presently, the front (southern) portion of the Project site is improved with the Wilshire Professional Building constructed in 1929, while the rear (northern) portion is covered by an asphalt parking lot. The Project would redevelop the parking lot on the Project Site with a sixteen-story multi-family residential building consisting of 196 units above a five and one-half level parking garage, with the lower two and one-half levels of the garage below grade. At approximately 183 feet tall, the proposed building on the Project Site would be approximately the same height as the Wilshire Professional Building. The proposed building would also maintain an approximately twenty foot separation from the base of the Wilshire Professional Building (in addition, once it would climb to roughly 35 feet, the proposed building would maintain an approximately 44 foot separation from the Building). The Wilshire Professional Building would be retained and not be physically altered or connected to the Project above grade level. However, the Project would construct a connection between the first subterranean parking level of the proposed building and the subterranean parking garage of the Wilshire Professional Building. The Project would feature a contemporary design, use modern materials, and cover a total area of approximately 205,100 square feet in addition to 22,080 square feet of open space. Proposed ground floor amenities would include a lobby, lounge, planting/dog run. On the roof level, there would be fitness area and roof deck featuring a pool, spa, outdoor fitness area, outdoor kitchen, dining terrace, and fire pit. Direct and indirect impacts, potentially resulting from the Project, are assessed below.

2. Direct Impacts

The southern portion of the Project Site is improved with the fourteen-story Wilshire Professional Building constructed in 1929, with its primary (south) elevation oriented towards Wilshire Boulevard. The Building is a designated HCM exemplifying the Art Deco, Zigzag Moderne style and has also been identified as individually eligible at the state level. The construction of the Project would not materially destroy or alter the Building or any of its character-defining features. The Project would also not be physically connected to the Building above grade level, and would be built approximately twenty feet north of its rear (north) elevation. Although the Project would construct a connection between the first subterranean parking level of the proposed building and the parking garage beneath the Wilshire Professional Building, this would not result in any material impairment of historic features. Furthermore, although the Project would partially obstruct the rear elevation of the Building, the rear elevation has been identified as contributing, as it is not a primary elevation, and would still be partially visible from the public right of way along Saint Andrews Place due to the approximately twenty foot setback of

the Project from the Building. The primary elevation, which fronts Wilshire Boulevard, would remain fully visible, as would the west elevation along Saint Andrews Place. As the Building itself would not be altered and would retain all of its exterior character-defining features, it would remain eligible as a historical resource upon Project completion. Finally, the Project is in conformance with Standards 9 and 10, as outlined in the Standards review below. Therefore, there are no direct impacts to historical resources on the Project Site pursuant to CEQA.

3. Indirect Impacts

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity of the resources and their immediate surroundings that would detract from the significance of historical resources within a quarter-mile radius of the Project. In the Project vicinity there: is one property that has been listed on the National Register, California Register, and been designated locally as an HCM; are three locally designated HCMs; and are eight potentially eligible historical resources identified by SurveyLA. None of these properties have a direct view of the Project. However, there is one property that has an indirect view of the Project Site property that has been listed on the National Register, the California Register, and designated as an HCM. Additionally, there are two properties that have direct views of the Project Site that have been identified as needing to be reevaluated. For the purpose of this assessment, these properties are assumed to be potential historical resources pursuant to CEQA.

652-676 South Western Avenue

652-676 South Western Avenue (Pellisser Building and Wiltern Theater, an Art Deco complex designed by Morgan, Walls & Clements and constructed in 1931) is located approximately 0.14 miles (740 feet) southeast of Project Site, at the southeast corner of the intersection of Wilshire Boulevard and South Western Avenue. This property has an indirect view of the Wilshire Professional Building's primary (south) elevation, but does not have a direct or indirect view of the Project. Furthermore, due to later infill in the surrounding area, 652-676 South Western Avenue's historic context has already been eroded. Therefore, 652-676 South Western Avenue would remain eligible as a potential historical resource and there would be no direct or indirect impacts to this resource pursuant to CEQA.

627-635 South Manhattan Place

627-635 South Manhattan Place (Christ Church, designed by architects Norman W. Alpaugh and Clarence H. Russel in the Beaux Arts Renaissance Revival style and constructed in 1924) is located immediately to the east of the Project Site, at the northwest corner of the intersection of Wilshire Boulevard and South Manhattan Place. Due to its situation adjacent to the Project Site, Christ Church would theoretically have a direct view of the Project. However, 627-635 South Manhattan Place does not have any fenestration along its west (rear) elevation, which faces the Project Site, and therefore has a limited view of the Project. The immediate setting surround Christ Church has already been eroded due to later infill as well as the substantial alteration of the remaining

historic buildings in the surrounding setting. The primary (east) elevation of Christ Church, which overlooks South Manhattan Place, would remain in full view and would not be obstructed by the Project. Furthermore, the Project would maintain a sixteen foot setback from Christ Church and would not physically affect or materially destroy or alter any of its character-defining features. Therefore, 627 South Manhattan Place would remain eligible as a potential historical resource and there would be no direct or indirect impacts to this potential resource pursuant to CEQA.

3903 Wilshire Boulevard

3903 Wilshire Boulevard (Saint James Episcopal Church, designed by architect Norman Benjamin G. McDougall in the Gothic Revival style and constructed in 1925) is located approximately 0.01 miles (53 feet) west of the Project Site, at the northwest corner of the intersection of Wilshire Boulevard and Saint Andrews Place. Due to its situation adjacent to the Project Site, on the opposite (east) side of Saint Andrews Place, Saint James Episcopal Church has a direct view of the Project. As in the case of Christ Church discussed above and located to the east, the immediate setting surround Saint James Episcopal Church has already been compromised due to later infill. Saint James Episcopal Church's primary (south and west) elevations, which overlook Wilshire Boulevard and Saint Andrews Place, respectively, would not be obstructed by the Project. Therefore, 3903 Wilshire Boulevard would remain eligible as a potential historical resource and there would be no direct or indirect impacts to this potential resource pursuant to CEQA.

Secretary of the Interior's Standards Reviews

As mentioned above, under CEQA, a project that follows *the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing, Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the Historical Resource.[13] New construction adjacent to a historical resource is considered "related new construction" and numbers nine and ten of the Standards apply to this Project. Therefore, the Project was assessed for conformance to Standards nine and ten regarding "related new construction" constructed adjacent or in the vicinity of other historical resources.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

[13] California Environmental Quality Act, 15064.5 (3).

The Project would be constructed adjacent to the Wilshire Professional Building. No new additions, exterior alterations, or related new construction would destroy any historic materials that characterize the property. The Project would be set back away from the Wilshire Professional Building and would have no physical or material impact and would not detract from designated or eligible historical resources, and historical resources would remain eligible after project completion. The Project would not destroy or alter any of the Wilshire Professional Building's character-defining features, which would be retained intact. Furthermore, the Project would not physically affect in any way nor destroy or alter any other historical resources in the Project vicinity.

New construction under the Project would be differentiated from the Wilshire Professional Building and would be compatible with the massing, size, scale, and architectural features of the Wilshire Professional Building and would protect the historic integrity of the historic property and its environment. The Project would not destroy or alter the Wilshire Professional Building or any of its character-defining features. The Project would not be physically attached to the Building and would maintain an approximately twenty foot setback from its base. Additionally, once it would climb to roughly 35 feet, the proposed building would maintain an approximately 44 foot separation from the Building. Moreover, the Project would not obstruct the Building's primary (south and west) elevations, which overlook Wilshire Boulevard and Saint Andrews Place, respectively. Moreover, the Project is of a contemporary design that is clearly differentiated from the Art Deco, Zigzag Moderne style of the Building. At sixteen stories with a regular, rectangular massing, the Project is, furthermore, of a similar height and size and therefore is compatible with the scale and massing of the fourteen-story Wilshire Professional Building. The Project would be approximately the same height as the Building and consist of a tower situated above a wider base, maintaining continuity with the formal composition of the Building. Therefore, the Project is in conformance to Standard 9 and is keeping with the intent of the Standards, which is to minimize impacts to historical resources.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If removed in the future, the essential form and integrity of the Wilshire Professional Building and other potential historical resources in the Project vicinity would be unimpaired, as the Project would not physically alter or be connected to the Building above grade level or other designated or eligible historical resources. The proposed Project therefore conforms to Standard 10.

Conclusion

The locally designated Building, which is located on the Project Site directly to the south of the Project, would be fully protected. Additionally, the eligibility and designation of historical resources on the Project Site and in the Project vicinity would not be compromised, as they would not be physically or materially affected, destroyed, or altered in any way by the Project. All of the existing exterior character-defining features of the Building that

contribute to its eligibility as a historical resource would remain intact. All of the primary views of the Building from Wilshire Boulevard would be protected. While the Project would partially obscure views of the rear (north) elevation (which ESA PCR identified as contributing), this is a secondary and not a primary elevation and there would be a twenty foot setback between the Building and the Project that would still allow for visibility of the north elevation from the public right-of-way on South Saint Andrews Place. Furthermore, the historic setting of the Building is already eroded and does not contribute to the eligibility of the Wilshire Professional Building or any surrounding historical resources identified in the vicinity. As demonstrated in the analysis above, the Project is in full compliance with Standards 9 and 10 as they relate to new construction adjacent to a historical resource. Upon completion of the Project, the Building would remain eligible as a historical resource. Therefore, the Project would have no adverse impacts to historical resources on the Project Site. Furthermore, the Project would have no direct or indirect impacts to known historical resources identified in the project vicinity. In the Project vicinity, one designated historical resource (652-676 South Western Avenue) would have an indirect view of the Project Site, and two potentially eligible historical resources (627-635 South Manhattan Place and 3903 Wilshire Boulevard) would have direct views of the Project Site. The existing setting of these three properties does not contribute to their designation or eligibility as historical resources due to substantial later infill and alterations of their surroundings. Thus the Project would have no impact to any historical resources in the vicinity and would not visually obscure or physically alter any of their character-defining features. Therefore, the Project would protect historical resources and would not compromise the eligibility of any historical resources either on the Project Site or in the project vicinity.

In summary, as a result of its investigations, ESA PCR concludes that the Project would have no adverse impact to historical resources under CEQA because the existing eligibility and designations of historical resources on the Project Site and in the Project vicinity would remain unchanged after Project completion, and no further evaluation of historical resources would be required. ESA PCR recommends that, during Project construction, measures be taken to ensure that excavation and other work does not adversely impact the Wilshire Professional Building.

Sincerely,
ESA PCR

Dr. Margarita C. Jerabek
Director of Historic Resources

LIST OF ATTACHMENTS

Attachment A: Professional Qualifications
Attachment B: Project Plans
Attachment C: DPR Form, Koreatown Recovery Redevelopment Area Historic Resources Survey (2009)
Attachment D: HCM Application (2015)

Attachment A

Professional Qualifications

Margarita Jerabek, Ph.D.

ASSOCIATE PRINCIPAL, DIRECTOR OF HISTORIC RESOURCES

SUMMARY

Margarita Jerabek has 25 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. She has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

EXPERIENCE

Dr. Jerabek has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California counties. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Dr. Jerabek regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

She is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, Dr. Jerabek is a highly experienced project manager with broad national experience throughout the United States. She currently manages PCR's on-call preservation services with the City of Santa Monica, County of San Bernardino Department of Public Works, City of Hermosa Beach, Los Angeles Unified School District, and Long Beach Unified School District.

Education

Ph.D., Art History, University of California, Los Angeles, 2005

M.A., Architectural History, School of Architecture, University of Virginia, Charlottesville, 1991

Certificate of Historic Preservation, School of Architecture, University of Virginia, Charlottesville, 1991

B.A., Art History, Oberlin College, Oberlin, Ohio, 1983

Awards/Recognition

2014 Preservation Award, *The Dunbar Hotel*, L.A. Conservancy

2014 Westside Prize, *The Dunbar Hotel*, Westside Urban Forum,

2014Design Award: *Tongva Park & Ken Genser Square*, Westside Urban Forum

2012 California Preservation Foundation Award, *RMS Queen Mary Conservation Management Plan*, California Preservation Foundation

Professional Affiliations

California Preservation Foundation

Santa Monica Conservancy

Los Angeles Conservancy

Society of Architectural Historians

National Trust for Historic Preservation Leadership Forum

American Institute of Architects (AIA), National Allied Member

American Architectural Foundation

Association for Preservation Technology

Amanda Kainer, M.S.

SENIOR ARCHITECTURAL HISTORIAN

SUMMARY

Amanda Kainer has more than eight years of professional and academic experience in the practice of historic preservation and architectural history. Ms. Kainer has conducted extensive archival research, field observation, recordation, and prepared survey documentation and assisted in database management for numerous PCR historic resources projects. She has training and substantial experience in the evaluation and conservation of art and architecture and passion for interior design.

EXPERIENCE

Ms. Kainer has completed and co-authored a wide range of architectural investigations including historic resources assessment and impacts analysis reports for compliance with CEQA, character-defining features reports, plan reviews, investment tax credit applications, Section 106 significance evaluations, and HABS documentations. She has also performed extensive research, survey work, and prepared numerous landmark and preliminary assessment reports as a part of PCR's On-Call Historic Preservation Contract with the City of Santa Monica.

She is involved a diverse set of projects and analyses. These include anything from a California Register nomination for the UCLA Faculty Center to a paint analysis for a Churrigueresque style 1920s commercial building in Santa Monica. She has co-authored Section 106 reports for the residential development in Thousand Oaks, Santa Monica Pier, Avalon Fuel Dock on Catalina Island, and a Mid-Century roadside motel in Bakersfield. For LAUSD, Ms. Kainer authored a character-defining features analysis for seven historic schools, provided historic analysis for an MND, and preliminary resource evaluations and plan reviews for various historic schools.

Historic Resources Assessments: Ms. Kainer has contributed to the research, site inspections, and report preparation of a number of historic resources assessments in the Los Angeles metropolitan area for compliance with CEQA. Ms. Kainer has evaluated a number of different types of potential historical resources, including single-family and multi-family residences, banks, commercial buildings, schools, hotels, and cultural landscapes in Beverly Hills, Venice, Los Angeles, and Santa Monica.

Large Scale Survey Experience: She was a contributing author for three major Community Redevelopment Agency of the City of Los Angeles–Adelante Eastside, Wilshire Center/Koreatown, and Normandie 5 Redevelopment Areas. Ms. Kainer also served as PCR Survey Team Leader and co-author for the comprehensive survey of over 4,000 objects of fine and decorative arts aboard the RMS Queen Mary in Long Beach. Additionally, Ms. Kainer helped complete the district-wide survey and evaluation of the Long Beach Unified School District and a windshield survey of Hermosa Beach for the Historic Resources Chapter of the Hermosa Beach General Plan Update.

Education

M.S., Historic Preservation (Emphasis: Conservation Science), Columbia University, New York, New York, 2008

B.S., Design (Emphasis: Interior Architecture), University of California, Davis, 2002

B.A., Art History, University of California, Davis, 2002

Awards/Recognition

Joel Polsky Academic Achievement Award, American Society of Interior Designers, 2008

Continuing Education

CEQA and Historic Resources: Thresholds, Mitigation & Case Studies, California Preservation Foundation Workshop, March 2011

Professional Affiliations

California Preservation Foundation

Los Angeles Conservancy

Santa Monica Conservancy (Volunteer Docent for the Shotgun House)

Docomomo SoCal

Association of Preservation Technology Western Chapter

Adam F. Rajper

ARCHITECTURAL HISTORIAN TECHNICIAN

SUMMARY

Adam Rajper is an architectural historian experienced in the research and education of cultural resources in the United States and abroad. His combination of degrees provides him with a broad and advantageous skill set, including strong documentation and research skills, as well as the ability to approach preservation from an interdisciplinary perspective.

EXPERIENCE

Mr. Rajper has worked as an assistant in architectural firms throughout Southern California, most recently KTGY Group, Inc. in Irvine, as well as a preservation consultant in South Asia and the Middle East. While receiving his architectural training, Mr. Rajper interned at the Los Angeles Conservancy where he helped prepare National Register Nominations.

Mr. Rajper has a strong interest in the history and theory of historic preservation, both in the United States and abroad. In 2012, he completed a course offered by the Critical Conservation Program at Harvard's Graduate School of Design and taught by Philadelphia-based architects and cultural and architectural historians, Susan Snyder and Dr. George Thomas. As part of that course, Mr. Rajper examined the origins of the preservation movement in the American Southwest, including Southern California. Mr. Rajper also has a passion for earthen architecture. As a graduate student, he documented historic mud brick palaces in Tarim, Yemen under the auspices of the Samuel H. Kress Foundation and Columbia University. He has conducted extensive research on adobe buildings throughout Southern California and is currently receiving training in earthen construction through Adobe in Action, a New Mexico-based non-profit organization.

In addition to his experience in architecture and preservation, Mr. Rajper has taught undergraduate and graduate seminars on architectural history in Cairo, Egypt. He has also worked as a research and teaching assistant, under the direction of faculty affiliated with the History, Theory, and Criticism of Architecture Program at the Massachusetts Institute of Technology. At Columbia, he focused on architectural conservation and studied under noted conservators, Dr. George Wheeler and Norman Weiss.

Education

M.S. Historic Preservation, Columbia University, New York, New York, 2008

Bachelor of Architecture, California State Polytechnic University, Pomona, 2004

Professional Affiliations

Preservation Alumni

Society of Architectural Historians

Awards/Recognition

Robert C. Weinberg Award for Excellence in Preservation Planning and Design, 2008

William Kinne Fellows Traveling Prize, 2008

Alpha Rho Chi Medal for Leadership, Service, and Merit, 2004

Attachment B

Project Plans

07.18.16

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07.18.16

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JPB PARTNERS, INC.

OPEN SPACE CALCULATION

(SEE SHEET A1.03 FOR FULL BREAKDOWN OF PROVIDED OPEN SPACE)

a. REQUIRED OPEN SPACE PER L.A. PLANNING & ZONING CODE (SEC. 12.21G)

LESS THAN 3 HABITABLE ROOMS (1B)	= 100 SF x	122 UNITS	= 12,200 SF
3 HABITABLE ROOMS (1 BDRM+F / 2 BDRM / PH)	= 125 SF x	74 UNITS	= 9,250 SF
		196 UNITS	= 21,450 SF

TOTAL OPEN SPACE REQUIRED: 21,450 SF
(25% OF THE REQUIRED OPEN SPACE ALLOWED
TO BE INTERIOR SPACE = 21,450 x 25% = 5,362.50 SF)

b. OPEN SPACE PROVIDED:

COMMON AREA OPEN SPACE	
GROUND LEVEL - G1	
CLUB *	3,237 SF
PLANTING / DOG RUN	1,000 SF
	4,237 SF
ROOF DECK / PH LEVEL	
FITNESS *	1,864 SF
ROOF DECK	6,179 SF
	8,042 SF
TOTAL	12,280 SF

* NOTE: TOTAL INTERIOR SPACE PROVIDED:
3,237(CLUB) + 1,864(FITNESS) = 5,101 SF < 5,362.50 MAX. ALLOWED

PRIVATE OPEN SPACE

NAME	NO. BAL./PATIO	BAL./PATIO AREA
BALCONY **	180	9,000 SF
PATIO **	16	800 SF
TOTAL	196	9,800 SF

TOTAL OPEN SPACE PROVIDED: 22,080 SF

** NOTE: BALCONIES/PATIO ARE COUNTED FOR 50 SF EACH MAX.

PRODUCT APPROVALS

1. FIRE RETARDANT WOOD - LARR 24502
2. VAPORLOCK METHANE BARRIER SYSTEM - LARR 25546
3. MER-KOTE DECK SYSTEM - LARR 25774
4. DAMP PROOFING MATERIAL - LARR ----
5. SOUND / THERMAL INSULATION - LARR ----
6. ANTI-GRAFFITI FINISH - LARR ----
7. CLASS "A" ROOF SYSTEM - LARR 25271
8. PEDESTAL DECK SYSTEM - LARR 25699

SEPARATE PERMITS REQUIRED

1. SWIMMING POOL & SPA
2. FIRE SPRINKLER SYSTEMS
3. FIRE ALARM SYSTEM
4. PLUMBING WORK
5. MECHANICAL WORKEL
6. ECTRICAL WORK
7. CONCRETE / STEEL STAIR SHOP DRAWINGS
8. METAL GUARDRAIL SHOP DRAWINGS
9. SIGNAGE PROGRAM
10. GRADING WORK
11. SHORING

PARKING SUMMARY

PARKING FACILITY DESIGN:
a. ALL PARKING FACILITIES ARE DESIGNED TO L.A. CITY ZONING CODE SECTION 12-21A.5 PER LATEST AMENDMENTS.
b. RESIDENTIAL PARKING DESIGN MAY ALSO UTILIZE THE 7-21-77 B&S MEMO ALLOWING NO INCREASE OF PARKING SPACE WIDTH AND ADJOINING OBSTRUCTION WITH 9'-2" SPACES AND 24'-0" DRIVE AISLE WIDTH.

1) PARKING REQUIRED
RESIDENTIAL:
a. UNIT 1B/1B+F 146 x 1.5 = 219 SPACES
b. UNIT 2B/PH 50 x 2.0 = 100 SPACES
= 319 SPACES
TOD ORDINANCE REDUCTION 15% = (-48 SPACES)
TOTAL RESIDENTIAL PARKING REQ'D = 271 SPACES

COMMERCIAL:
REPLACEMENT COMMERCIAL PER C OF O = 71 SPACES
BIKE PARKING REDUCTION (30%) = -21 SPACES = 50 SPACES
40% COMPACT PERMITTED = 20 SPACES (ALL IN EXISTING BUILDING)
TOTAL REQUIRED IN NEW DEVELOPMENT = 30 SPACES (ALL STANDARD)

GRAND TOTAL PARKING REQUIRED = 271+30 = 301 SPACES

2) ACCESSIBLE PARKING CALCULATION:
RESIDENT ACCESSIBLE PARKING (196 UNITS x 2%) = 4 SPACES
RESIDENT GUEST ACCESSIBLE PARKING = 1 SPACE
COMMERCIAL ACCESSIBLE PARKING (1 TO 50 CARS) = 2 SPACES
TOTAL ACCESSIBLE PARKING = 7 SPACES

3) PARKING PROVIDED:

PARKING LEVEL - G3	
COMPACT TANDEM	6
STANDARD	38
	44
PARKING LEVEL - G2	
COMPACT TANDEM	6
STANDARD	35
	41
GROUND LEVEL - G1	
ACCESSIBLE PARKING	3
ACCESSIBLE PARKING VAN	2
COMPACT	2
STANDARD	9
STANDARD TANDEM	7
	23
PARKING SUB LEVEL P1	
ACCESSIBLE PARKING	1
ACCESSIBLE PARKING VAN	1
COMPACT TANDEM	20
STANDARD	47
	69
PARKING SUB LEVEL P2	
COMPACT TANDEM	20
STANDARD	51
STANDARD PARALLEL	1
	72
PARKING SUB LEVEL P2.5	
COMPACT TANDEM	11
STANDARD	40
STANDARD PARALLEL	1
	52
TOTAL PARKING SPACES PROVIDED:	301

PARKING TYPE	NO. PARKING
ACCESSIBLE PARKING	4
ACCESSIBLE PARKING VAN	3
COMPACT	2
COMPACT TANDEM	63
STANDARD	220
STANDARD PARALLEL	2
STANDARD TANDEM	7
TOTAL PARKING STALLS	301

COMPACT	2
COMPACT TANDEM	63
TOTAL PARKING STALLS: 65	65

ACCESSIBLE PARKING	4
ACCESSIBLE PARKING VAN	3
STANDARD	220
STANDARD PARALLEL	2
STANDARD TANDEM	7
TOTAL PARKING STALLS: 236	236

65 / 301 TOTAL - 22% COMPACT
236 / 301 TOTAL - 78% STANDARD

PARKING AREA	
PARKING G3	19,702 SF
PARKING G2	18,866 SF
PARKING AT GROUND G1	12,361 SF
PARKING P1	26,941 SF
PARKING P2	27,665 SF
PARKING P2.5	16,844 SF
TOTAL PARKING AREA:	122,380 SF

BUILDING AREA SUMMARY

NAME	AREA (GROSS)
PARKING SUB LEVEL P2.5	
EL. LOBBY	218 SF
	218 SF
PARKING SUB LEVEL P2	
EL. LOBBY	218 SF
	218 SF
PARKING SUB LEVEL P1	
EL. LOBBY	218 SF
	218 SF
GROUND LEVEL - G1	
LEASING	597 SF
LOBBY	2,022 SF
LOUNGE	2,164 SF
WIFI	475 SF
	5,257 SF
PARKING LEVEL - G2	
EL. LOBBY	218 SF
	218 SF
1ST/PODIUM LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
2ND LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
3RD LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
4TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
5TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
6TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
7TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
8 TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
9TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
10TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
11TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
12TH LEVEL	
RESIDENTIAL	15,864 SF
	15,864 SF
ROOF DECK / PH LEVEL	
EL. LOBBY	1,700 SF
FITNESS	1,584 SF
RESIDENTIAL	5,310 SF
	8,593 SF
TOTAL AREA:	205,091 SF

NOTE:
COMMON FLOOR ARE EXCLUDED ELEVATOR SHAFT, STAIRS AND VENT SHAFTS + EXTERIOR WALLS

UNIT TYPE SUMMARY

UNIT NAME	UNIT AREA	NO.UNIT	AVG. UNIT AREA (SF)	UNIT PERCENTAGE
1B	114,632 SF	146	766.95	74%
2B	57,970 SF	48	1,262.85	24%
PH	3,359 SF	2	1,679.50	1%
TOTAL:	175,961 SF	196		100%

UNIT DISTRIBUTION PERLEVEL

UNIT NAME	UNIT AREA	NO. BED	NO. BATH	NO.UNIT
1ST/PODIUM LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
2ND LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
3RD LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
4TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
5TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
6TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
7TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
8 TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
9TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
10TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
11TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
12TH LEVEL				
1B	9,413 SF			12
2B	4,831 SF			4
	14,244 SF			16
ROOF DECK / PH LEVEL				
1B	1,677 SF			2
PH	3,359 SF			2
	5,035 SF			4
TOTAL:	175,961 SF			196

PROJECT DATA

PROJECT DESCRIPTION:

EXISTING: 14-STORY EXISTING OFFICE BUILDING
PROPOSED: 16 STORY RESIDENTIAL PROJECT, 196 UNITS, 13 STORY TYPE I - FULLY SPRINKLERED RESIDENTIAL TOWER OVER A 3 LEVEL CONCRETE PARKING STRUCTURE PLUS 2.5 SUBTERRANEAN PARKING LEVELS.

JOB ADDRESS: 3875 WILSHIRE BLVD.
LOS ANGELES, CA 90010

LEGAL DESCRIPTION:

PARCEL 1:

LOT 13 IN BLOCK "G" OF WESTMINSTER PLACE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 61 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

LOTS 14, 15, AND 16 IN BLOCK "G" OF WESTMINSTER PLACE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 61 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: APN 5503-032-010 & 011

ZONING DATA:
ZONE - C4-2 (COMMERCIAL) (LOTS 15 & 16) (REGIONAL COMMERCIAL)
ZONE - R5P-2 (MULTIPLE RESIDENTIAL) LOTS 13 & 14) - EXISTING TO BE CHANGED TO C4-2

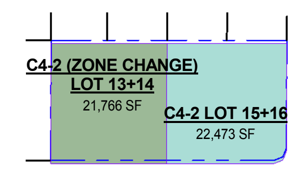
LAND USE INFORMATION:
1. EXISTING USE: PARKING LOT
2. LOT AREA:
GROSS AREA: 44,239 SF OR 1.02 ACRES

3. PROPOSED DENSITY:
R5P-2: 1 UNIT/200 SF x 21,766 SF = 109 UNITS
C4-2: 1 UNIT/200 SF x 22,473 SF = 112 UNITS
221 UNITS
PROPOSED DENSITY: = 221 UNITS

4. SETBACKS (PER ZONING CODE):

ZONE - C4-2 (LOTS 15 & 16) (COMMERCIAL)		ZONE - C4-2 (LOT 13 & 14) (RESIDENTIAL)	
FRONT	- NONE	FRONT	- NONE
STREET SIDE	- NONE	STREET SIDE (BLDG LINE)	- 5'
SIDE	- NONE	SIDE	- 16'
REAR	- NONE	REAR	- 20'

5. FLOOR AREA RATIO - 6:1
6 x 44,239 = 265,434 SF



6. HEIGHT - NO LIMIT

SUSTAINABLE FEATURES

1. SUSTAINABLE SITE
- RESIDENT BICYCLE STORAGE
- DEDICATED PARKING SPACES AND CHARGING FACILITY FOR ELECTRIC VEHICLES
- FLOW THROUGH PLANTERS AND DRAIN FILTERS WILL LIMIT THE DISRUPTION ON THE NATURAL WATER HYDROLOGY
- A COVERED GARAGE AND REFLECTIVE ROOFING MATERIALS WILL REDUCE THE HEAT ISLAND EFFECT AND THE ASSOCIATED NEED FOR AIR CONDITIONING
- THE PROJECT WILL BE LOCATED ON A SITE WITH DENSITY AND COMMUNITY CONNECTIVITY TO ALLOW EASY ACCESS TO SERVICES WHILE PROTECTING UNDERDEVELOPED AREAS AND THEIR ASSOCIATED HABITATS AND NATURAL RESOURCES

2. WATER EFFICIENCY
- WILL FEATURE WATER EFFICIENT PLUMBING FIXTURES WHICH WILL REDUCE THE INDOOR WATER USAGE BY OVER 24%

3. INDOOR ENVIRONMENTAL QUALITY
- WILL BE A SMOKE FREE BUILDING; WE WILL PROHIBIT SMOKING INSIDE AND WITH-IN 25 FEET OF ALL ENTRANCES
- PRECAUTIONS WILL BE TAKEN DURING CONSTRUCTION TO ENSURE THE PROTECTION OF INDOOR AIR QUALITY FOR FUTURE RESIDENTS
- LOW-EMITTING MATERIALS SUCH AS PAINT, CARPET, AND SEALANTS ARE GOING TO BE UTILIZED TO ENSURE THE RESIDENCES ARE HEALTHY SPACES
- ALL RESIDENCES WILL FEATURE INDIVIDUALLY CONTROLLED THERMOSTATS
- THE DESIGN OF WINDOWS WILL BRING IN NATURAL SUNLIGHT BY PROVIDING EXTERIOR VIEW FROM ALL ANGLES OF THE RESIDENCES

4. MATERIALS AND RESOURCES
- AN ONSITE RECYCLING CENTER WILL BE PROVIDED FOR EASY ACCESS FOR THE BUILDING'S RESIDENTS TO REDUCE THE AMOUNT OF HOUSEHOLD WASTE THAT IS LAND FILLED
- AT LEAST 75% OF CONSTRUCTION WASTE WILL BE RECYCLED OR SAVAGED FOR REUSE

5. INNOVATION AND DESIGN
- WE WILL IMPLEMENT A GREEN CLEANING PROGRAM FOR HOUSEKEEPING AND CONVEY A RECOMMENDED CLEANING POLICY TO RESIDENTS TO ENSURE THAT LIVING SPACES CONTINUE TO BE HEALTHY SPACES

CODE SUMMARY

RESIDENTIAL BICYCLE PARKING

RESIDENTIAL BIKE PARKING REQUIRED:
1/UNIT RESIDENT = 196
1/10 UNITS SHORT TERM = 20
TOTAL BIKE RACKS REQUIRED: = 216

RESIDENTIAL BIKE PARKING PROVIDED (SEE GROUND FLOOR PLAN):
LONG TERM: = 196 RACKS
SHORT TERM: = 20 RACKS
TOTAL BIKE RACKS PROVIDED: = 216 RACKS

COMMERCIAL BICYCLE PARKING

COMMERCIAL BIKE PARKING REQUIRED:

71 TOTAL COMMERCIAL VEHICLE PARKING SPACES PER C OF O
BIKE PARKING REDUCTION OF 30% = 50 COMMERCIAL VEHICLE PARKING SPACES REQUIRED
71 - 50 = 21 COMMERCIAL VEHICLE PARKING SPACES TO BE REPLACED WITH BIKE PARKING.

21 COMMERCIAL SPACES X 4 = **84 COMMERCIAL BIKE STALLS REQUIRED**

(SEE GROUND FLOOR PLAN FOR COMMERCIAL BIKE PARKING PROVIDED)

FAR SUMMARY

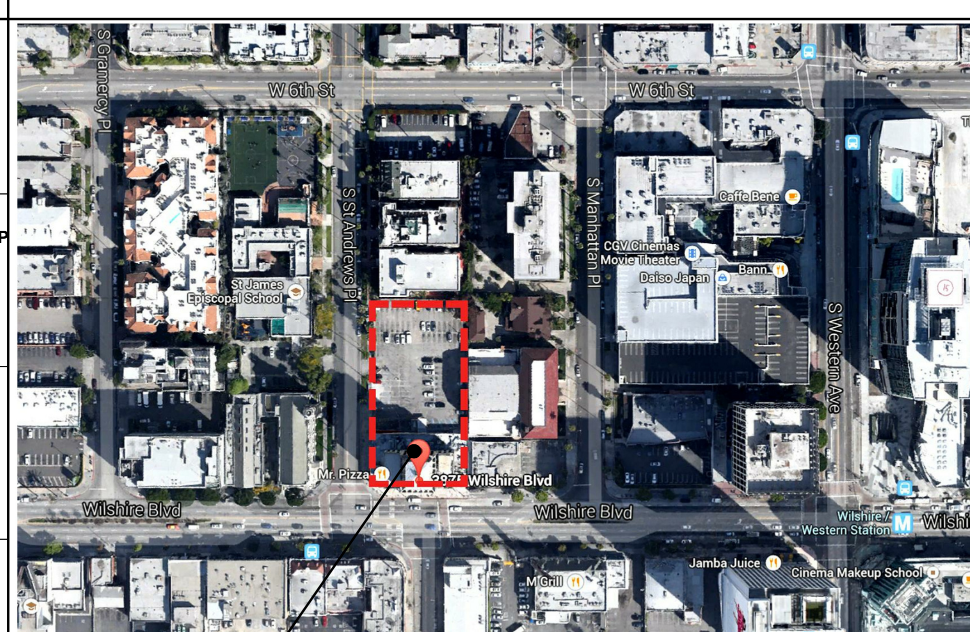
1. MAXIMUM ZONING FAR ALLOWED:
C4-2 ZONE = 265,434 SF

2. PROPOSED PROJECT FAR:
EXISTING BUILDING TO REMAIN = 60,343 SF
PROPOSED BUILDING = 205,091 SF
265,434 SF

PROJECT TEAM

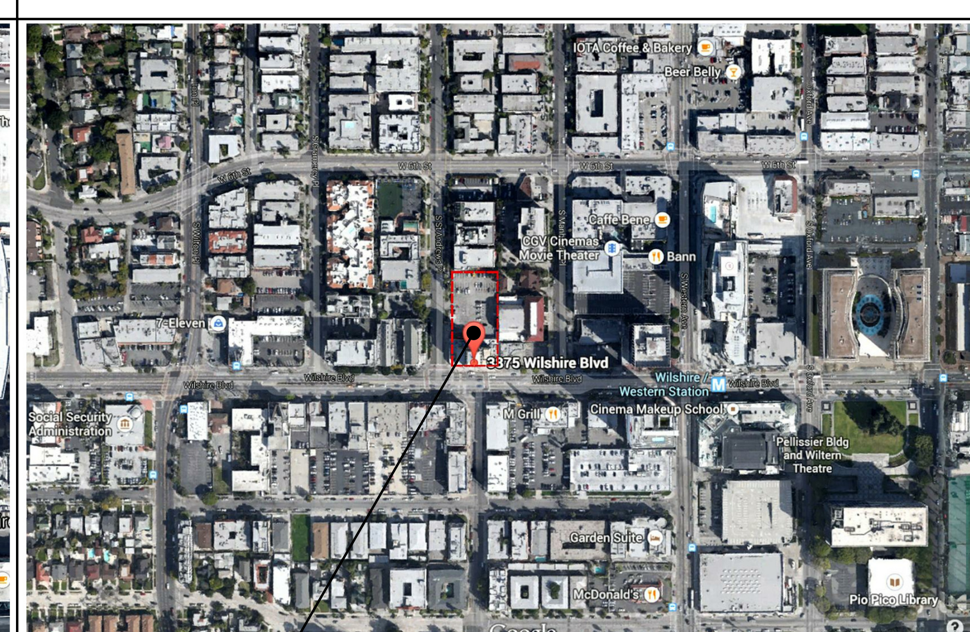
DEVELOPER:	ARCHITECT:	LANDSCAPE ARCHITECT:	CIVIL ENGINEER:
JPB PARTNERS, INC. 3470 WILSHIRE BLVD. 7TH FLOOR LOS ANGELES, CA. 90010 PHONE: 213.365.5000 FAX:	**GMP ARCHITECTS-LA** 811 WILSHIRE BLVD., SUITE #820 LOS ANGELES, CA. 90017 PHONE: 213.234.9118 FAX: 213.234.9119	**GAUDET DESIGN GROUP** 2109 STONER AVE. LOS ANGELES, CA 90025 PHONE: 310.828.4908 FAX:	
STRUCTURAL ENGINEER: **JLA STRUCTURAL ENGINEERS** 319 MAIN STREET EL SEGUNDO, CA 90245 PHONE: 213.239.9600 FAX: 213.239.9699	SHORING:		MEP ENGINEER: **INNOVATIVE ENGINEERING GROUP** 2501 DAVIDSON DRIVE 2ND FLOOR MONTEREY PARK, CA. 91754 PHONE: 323.262.9199 FAX:
SOILS ENGINEER: **PACIFIC GEOTECH** 15038 CLARK AVE. HACIENDA HEIGHTS, CA. 91745 PHONE: 818.240.9600 FAX: 818.240.9675			

SITE AERIAL



SITE

VICINITY MAP



SITE

CONSTRUCTION PERMITS+PROJECT APPROVALS

PERMIT NUMBER	TYPE	DATE
DIR--------	-------------	-----------

NOTE TO APPLICANT, PLAN CHECKER(S) AND BUILDING INSPECTOR(S) - These plans, inlcuding conditions of approval, shall be complied with and the height, size, shape. location, texture, color, or material shall not differ from what the Director of Planning has approved under Case No. DIR---------------DD (see pages A0.10 & A0.11). Any subsequent change to the project shall require additional review by the Director of Planning. A request for variations shall be sumbitted in writing and include a specific notation of the variation(s) requested. Should any change be required by a public agency then such requirements shall be documented in writing.

NOTE: SEE A1.02 FOR PROJECT DATA INFORMATION AND LEGAL DESICRIPTION

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OWNER
JPB Partners, Inc.

PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE
PROJECT DATA

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.
A1.02

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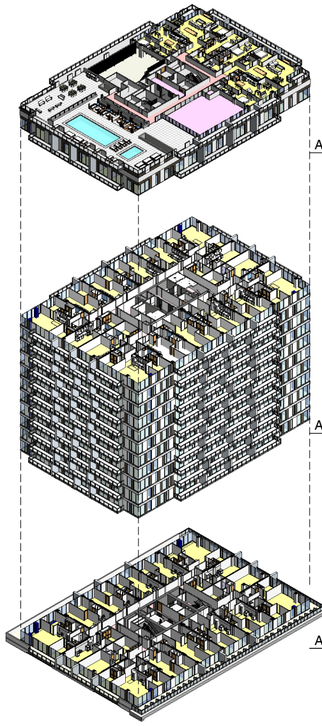
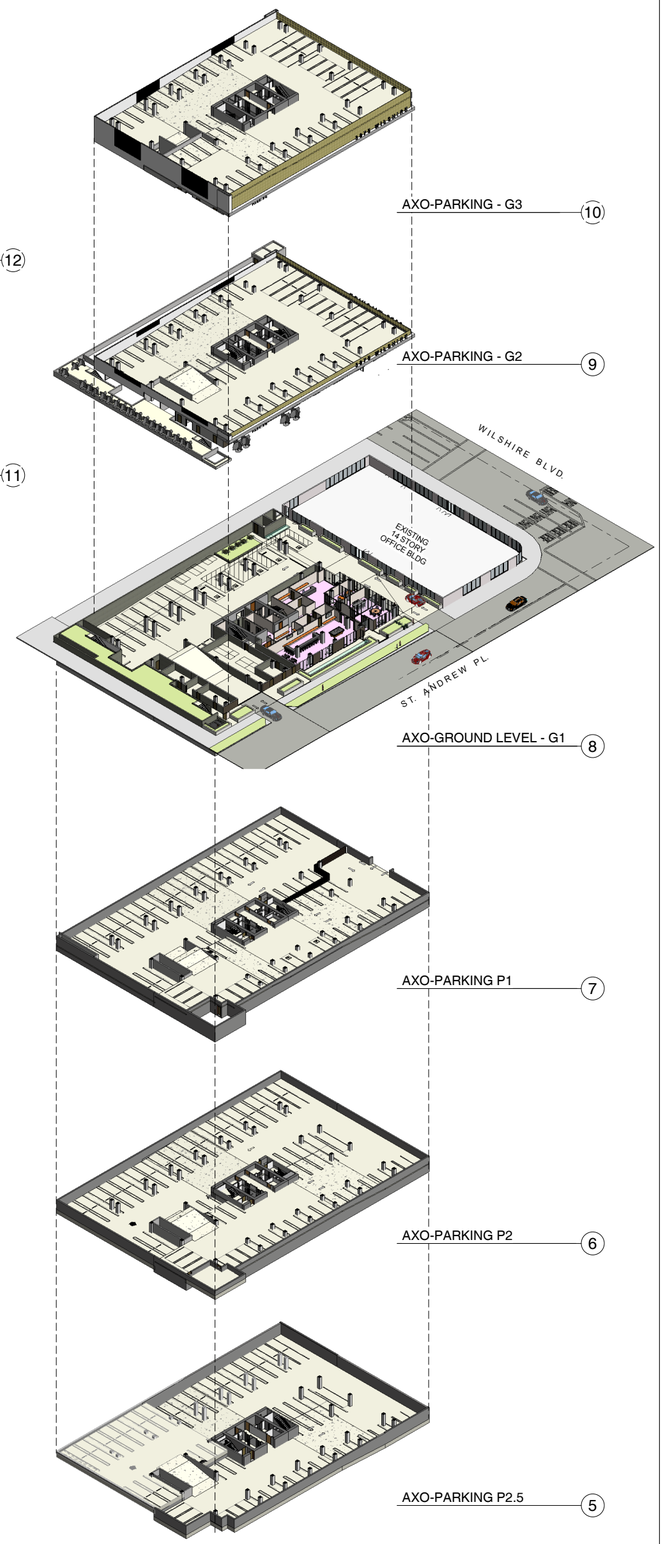
AXONOMETRIC VIEWS



AXO-ROOF DECK / PH LEVEL (13)

AXO-2ND - 12TH LEVEL (12)

AXO-1ST / PODIUM LEVEL (11)



AXO-PARKING - G3 (10)

AXO-PARKING - G2 (9)

AXO-GROUND LEVEL - G1 (8)

AXO-PARKING P1 (7)

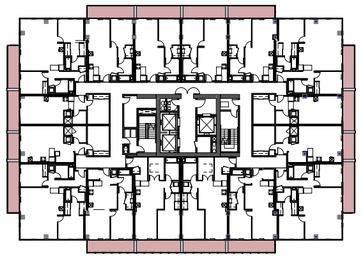
AXO-PARKING P2 (6)

AXO-PARKING P2.5 (5)

OPEN SPACE CALCULATIONS

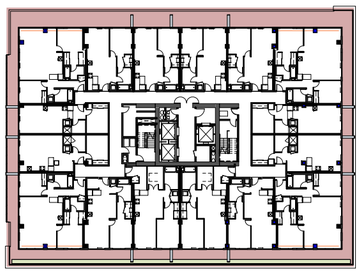
BALCONY @ EACH UNIT
(4 TOTAL)
50 SF MAX. EACH

ROOF DECK / PH LEVEL (4)
1" = 30'-0"



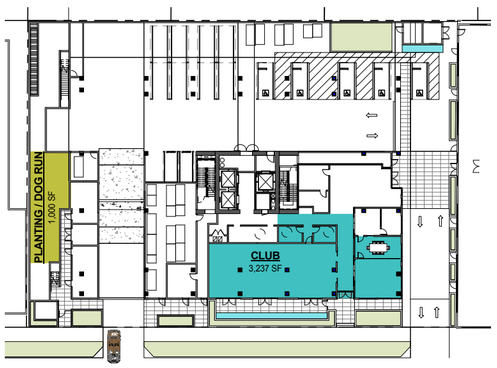
BALCONY @ EACH UNIT
(16 TOTAL / FLOOR
@ 11 FLOORS TOTAL)
50 SF MAX. EACH

TYPICAL LEVEL (2ND-12TH) (3)
1" = 30'-0"



PATIO @ EACH UNIT
(16 TOTAL)
50 SF MAX. EACH

1ST/PODIUM LEVEL FLOOR PLAN (2)
1" = 30'-0"



GROUND LEVEL - G1 (1)
1" = 30'-0"

a. REQUIRED OPEN SPACE PER L.A. PLANNING & ZONING CODE (SEC. 12.21G)

LESS THAN 3 HABITABLE ROOMS (1B)	= 100 SF x	122 UNITS	=	12,200 SF
3 HABITABLE ROOMS (1 BDRM+F / 2 BDRM / PH)	= 125 SF x	74 UNITS	=	9,250 SF
		196 UNITS	=	21,450 SF

TOTAL OPEN SPACE REQUIRED: 21,450 SF
(25% OF THE REQUIRED OPEN SPACE ALLOWED
TO BE INTERIOR SPACE = 21,450 x 25% = 5,362.50 SF)

b. OPEN SPACE PROVIDED:

COMMON AREA OPEN SPACE	
GROUND LEVEL - G1	
CLUB *	3,237 SF
PLANTING / DOG RUN	1,000 SF
	4,237 SF
ROOF DECK / PH LEVEL	
FITNESS *	1,864 SF
ROOF DECK	6,179 SF
	8,042 SF
TOTAL	12,280 SF

* NOTE: TOTAL INTERIOR SPACE PROVIDED:
3,237(CLUB) + 1,864(FITNESS) = 5,101 SF < 5,362.50 MAX. ALLOWED

PRIVATE OPEN SPACE		
NAME	NO. BAL./PATIO	BAL./PATIO AREA
BALCONY **	180	9,000 SF
PATIO **	16	800 SF
TOTAL	196	9,800 SF

TOTAL OPEN SPACE PROVIDED: 22,080 SF

** NOTE: BALCONIES/PATIO ARE COUNTED FOR 50 SF EACH MAX.

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PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

OPEN SPACE SUMMARY & AXONOMETRIC VIEWS

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A1.03

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PROPOSED 15 STORY RESIDENTIAL PROJECT, 196 UNITS, 13 STORY TYPE I - FULLY SPRINKLERED RESIDENTIAL TOWER OVER A 2 LEVEL CONCRETE PARKING STRUCTURE PLUS 2 SUBTERRANEAN PARKING LEVELS.

LOT INFORMATION

Pre dedicated lot area	44,239	1.02 acres
Lost to future dedications	0	
Post dedicated lot area	44,239	1.02 acres

DENSITY

PERMITTED

Existing Zoning	Square feet	Ratio	Units
R5P-2 (1 unit per 200 SF)	21,766	200	108
C4-2 (1 unit per 200 SF)	22,473	200	112
	44,239		**220**

PROPOSED

Proposed C4-2 Zone (200 sf per unit)	44,239	200	221

UNIT TYPE	Quantity
1 Bedroom	146
2 Bedroom	50
Total Proposed	**196**

Total Proposed	196

FLOOR AREA

PERMITTED	Ratio	Total
Existing Zoning (FAR 6:1)	6:1	265,434
As proposed to be C4 (FAR 6:1)	6:1	265,434
PROPOSED		
Total Floor Area	6:1	265,434

PROPOSED BY BUILDING	Total SF	FAR
Existing Building	60,343	1.4
Proposed Building	205,091	4.6
Total Proposed	**265,434**	

VERTICAL HEIGHT

Existing Height Distrct = "2"	unlimited/determined by 6:1 FAR
Proposed by the C4-2	unlimited/determined by 6:1 FAR
Proposed Project Height	177' - 6"
Proposed to the highest building element	182' - 6"

OPEN SPACE

REQUIRED

Unit Type	No. Habitable Rms	Habitable Rooms Ratio	Total Required SF
< 3 habitable rooms (100 s.f./unit)	122	100	12,200
3 habitable rooms (125 s.f./unit)	74	125	9,250
> 3 habitable rooms (175 s.f./unit)	0	175	0
Total Required	**196**		**21,450**
Maximum Indoor Space (25% of total)			**5,363**
Minimum Landscaped Space (25% of total)			**5,363**

PROPOSED

Private	
Balconies (180 x 50)	9,000
Patios (16 x 50)	800
Total Private	**9,800**
Common	
Outdoor	
Roof Deck	6,179
Planting/Dog Run	1,000
Total Outdoor	**7,179**
Indoor	
Fitness	1,864
Club	3,237
Total Indoor	**5,101**
Total Provided	**22,080**

TREE REQUIREMENT

Required (1 tree per 4 units)	49	trees
Provided	52	trees

AUTOMOBILE PARKING

REQUIRED

Residential Standard	# Units		Total Required
Required	Spaces per Unit	No. of Units	No. of Pkg Spaces
> 3 Habitable rooms	1.0	0	0.0
3 Habitable rooms	1.5	146	219.0
< 3 habitable rooms	2.0	50	100.0
Subtotal of residential			319.0
15% reduction due to proximity of transit portal			48
Total Residential Parking			**271**
Replacement Commercial per C of O		**71**	
Bike Parking reduction = 30%		**50**	
Permitted compact = 40%		20	
Standard required		30	**30**
Total Auto Parking required			**301**
Total Standard required	196 + 30	226	
PROPOSED			
Residential			271
Commercial			
Under Existing Building (all nonstandard)		20	
Within new structure		30	30
Total Proposed			**301**

BICYCLE PARKING

REQUIRED

Residential Standard	Racks
Short Term (1 per every 10 units)	20
Long Term (1 per unit)	196
Total Parking Spaces Required	**216**

PROPOSED

Residential Short Term	20
Residential Long Term	196
Total Proposed	**216**

REQUIRED

Commercial Standard	
Replacement for 21 commercial spaces	84
Total Required	84

PROPOSED

Replacement 4 x 21 spaces	84

SITE PLAN — SCALE 1/16" = 1'-0" — 1

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PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

PLOT PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A1.12

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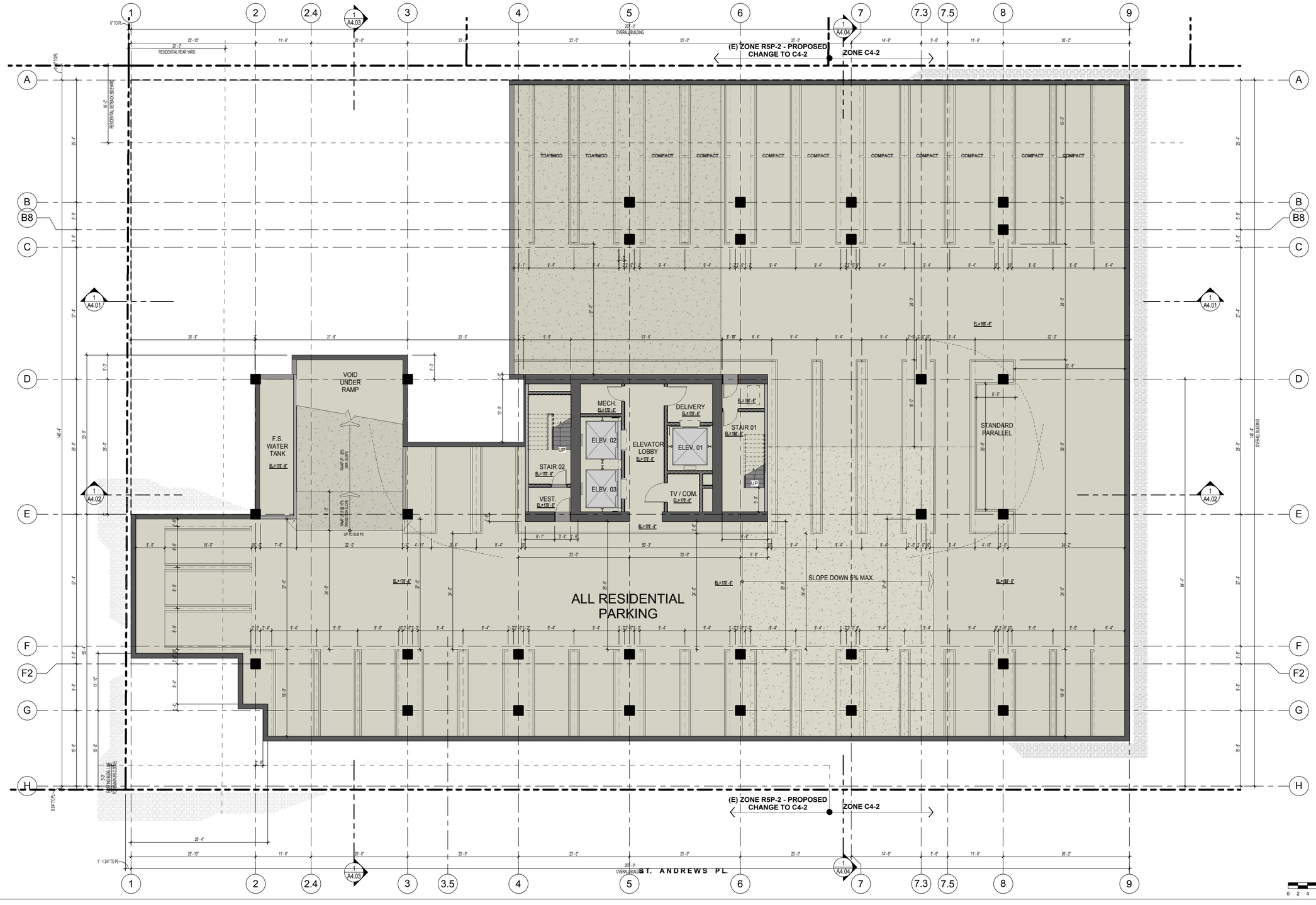

PARKING SUB LEVEL P2.5 | SCALE 1/8" = 1'-0" | 1

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
- CONCRETE MASONRY UNIT WITH FURRED WALL
- CONCRETE WALL

PARKING SUB LEVEL P2.5

COMPACT TANDEM	11
STANDARD	40
STANDARD PARALLEL	1
	52
TOTAL PARKING SPACES PROVIDED:	52

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

NOTES:

- SEE SHEETS A9.02 AND A9.03 FOR MORE INFORMATION REGARDING WALL TYPES CALL-OUTS.
- HORIZONTAL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- FOR EXTERIOR WALLS - SEE A9.02, A5.10 - A5.13
  FOR ALL OTHER WALL TYPES - SEE A9.02 & A9.03
- EXIT DOORS TO BE MIN. 3' IN NOMINAL WIDTH BY 6' - 8" IN NOMINAL HEIGHT, WITH A CLEAR WIDTH OPENING NOT LESS THAN 32".
- ANY HAZARDOUS MATERIALS STORED IN GROUP S STORAGE AREAS TO COMPLY WITH 414.2.5, AND TABLES 414.2.2 & 414.2.5(1).
- NO HAZARDOUS MATERIALS TO BE USED AND/OR STORED ANYWHERE ELSE WITHIN THE BUILDING.

PLAN NOTES

- MAINTAIN 8' - 2" MIN. CLEAR HEIGHT ABOVE THE HANDICAP ACCESS PARKING SPACES AND DRIVE AISLES ACCESSING THOSE SPACES. MAINTAIN 7' - 0" CLEAR HEIGHT ALL OTHER AREAS.
- SEE SHEET A5.01 FOR PARKING AREA DETAILS.
  ALL GARAGE FLOOR AREAS NOT TO EXCEED 5% SLOPE (TYP.).
- SEE SHORING DRAWINGS FOR SHORING AND TIEBACK INFORMATION.
  SEE CIVIL DRAWING FOR GRADING AND DRAINAGE
- ( ) = FINISH GRADE ELEVATION PER CIVIL DRAWINGS
- SEE METHANE GAS CONTROL PLANS FOR METHANE CONTROL AND SUBTERRANEAN WATERPROOFING.
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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JOB NO. 082614

SHEET TITLE

SUBTERRANEAN PARKING LEVEL P2.5 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

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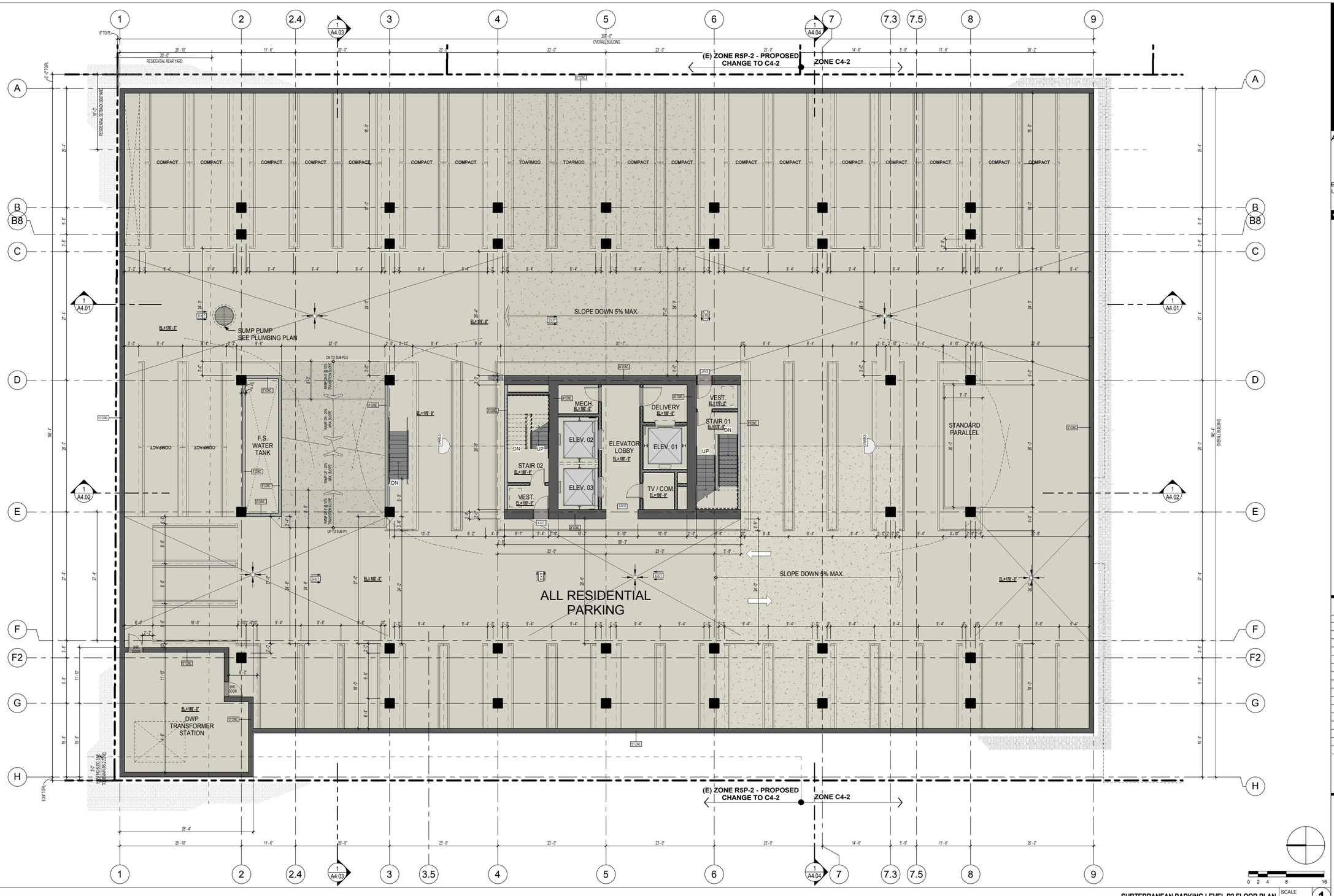

SUBTERRANEAN PARKING LEVEL P2 FLOOR PLAN

SCALE 1/8" = 1'-0"

1

PARKING SUB LEVEL P2	
COMPACT TANDEM	20
STANDARD	51
STANDARD PARALLEL	1
	72
TOTAL PARKING SPACES PROVIDED:	72

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
- CONCRETE MASONRY UNIT WITH FURRED WALL
- CONCRETE WALL

NOTES:

- SEE SHEETS A9.02 AND A9.03 FOR MORE INFORMATION REGARDING WALL TYPES CALL-OUTS.

- HORIZONTAL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

- FOR EXTERIOR WALLS - SEE A9.02, A5.10 - A5.13
FOR ALL OTHER WALL TYPES - SEE A9.02 & A9.03

- EXIT DOORS TO BE MIN. 3' IN NOMINAL WIDTH BY 6' - 8" IN NOMINAL HEIGHT, WITH A CLEAR WIDTH OPENING NOT LESS THAN 32".

- ANY HAZARDOUS MATERIALS STORED IN GROUP S STORAGE AREAS TO COMPLY WITH 414.2.5, AND TABLES 414.2.2 & 414.2.5(1).

- NO HAZARDOUS MATERIALS TO BE USED AND/OR STORED ANYWHERE ELSE WITHIN THE BUILDING.

PLAN NOTES

- MAINTAIN 8' - 2" MIN. CLEAR HEIGHT ABOVE THE HANDICAP ACCESS PARKING SPACES AND DRIVE AISLES ACCESSING THOSE SPACES. MAINTAIN 7' - 0" CLEAR HEIGHT ALL OTHER AREAS.
- SEE SHEET A5.01 FOR PARKING AREA DETAILS.
ALL GARAGE FLOOR AREAS NOT TO EXCEED 5% SLOPE (TYP.).
- SEE SHORING DRAWINGS FOR SHORING AND TIEBACK INFORMATION.
SEE CIVIL DRAWING FOR GRADING AND DRAINAGE
- ( ) = FINISH GRADE ELEVATION PER CIVIL DRAWINGS
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JOB NO. 082614

SHEET TITLE

SUBTERRANEAN PARKING LEVEL P2 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.01

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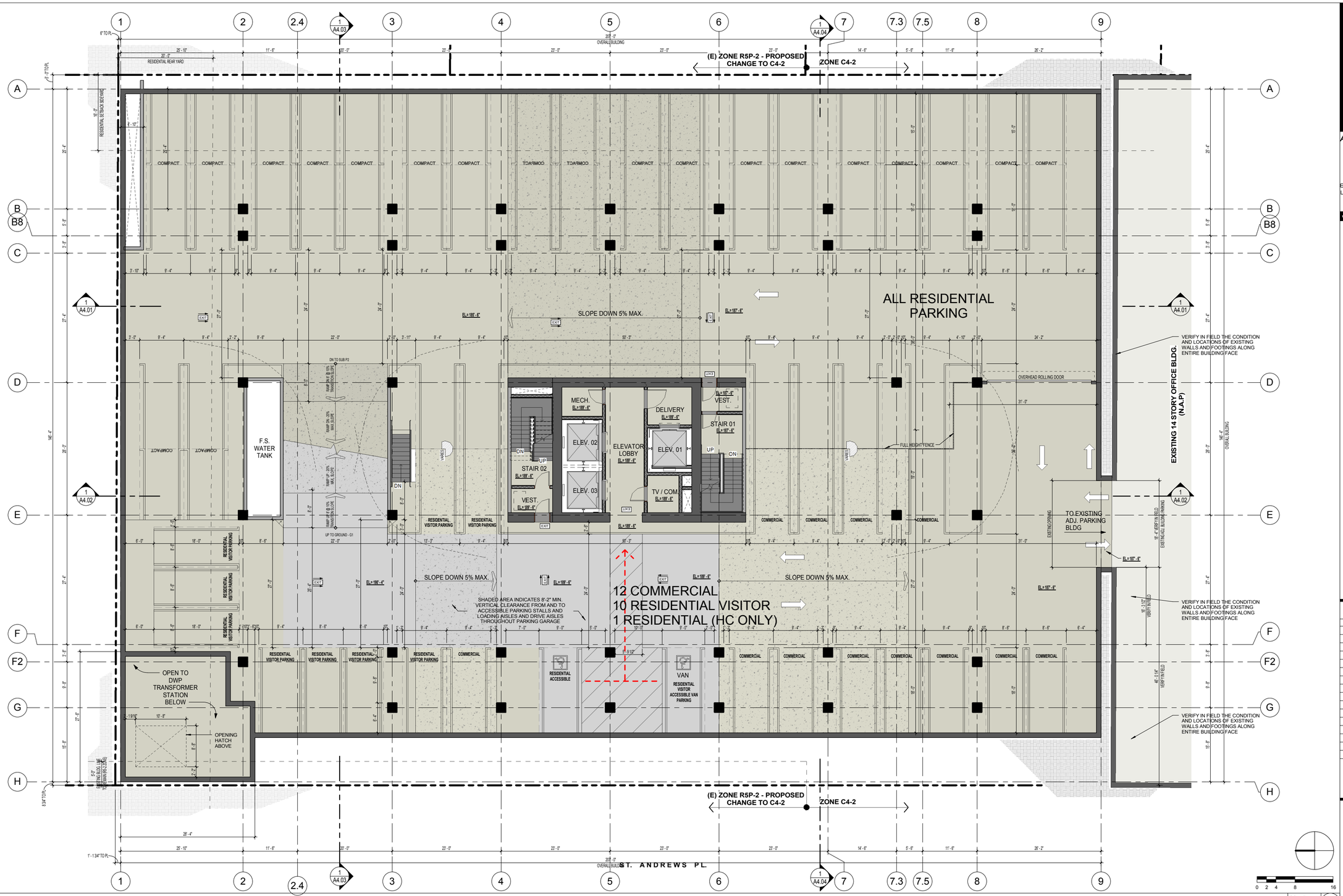

SUBTERRANEAN PARKING LEVEL P1 FLOOR PLAN — SCALE 1/8" = 1'-0" — 1

PARKING SUB LEVEL P1

ACCESSIBLE PARKING	1
ACCESSIBLE PARKING VAN	1
COMPACT TANDEM	20
STANDARD	47
	69
TOTAL PARKING SPACES PROVIDED:	69

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
- CONCRETE MASONRY UNIT WITH FURRED WALL
- CONCRETE WALL

NOTES:

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FOR ALL OTHER WALL TYPES - SEE A9.02 & A9.03
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PLAN NOTES

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- SEE SHEET A5.01 FOR PARKING AREA DETAILS.
ALL GARAGE FLOOR AREAS NOT TO EXCEED 5% SLOPE (TYP.).
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SEE CIVIL DRAWING FOR GRADING AND DRAINAGE
- ( ) = FINISH GRADE ELEVATION PER CIVIL DRAWINGS
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PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

SUBTERRANEAN PARKING LEVEL P1 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.02

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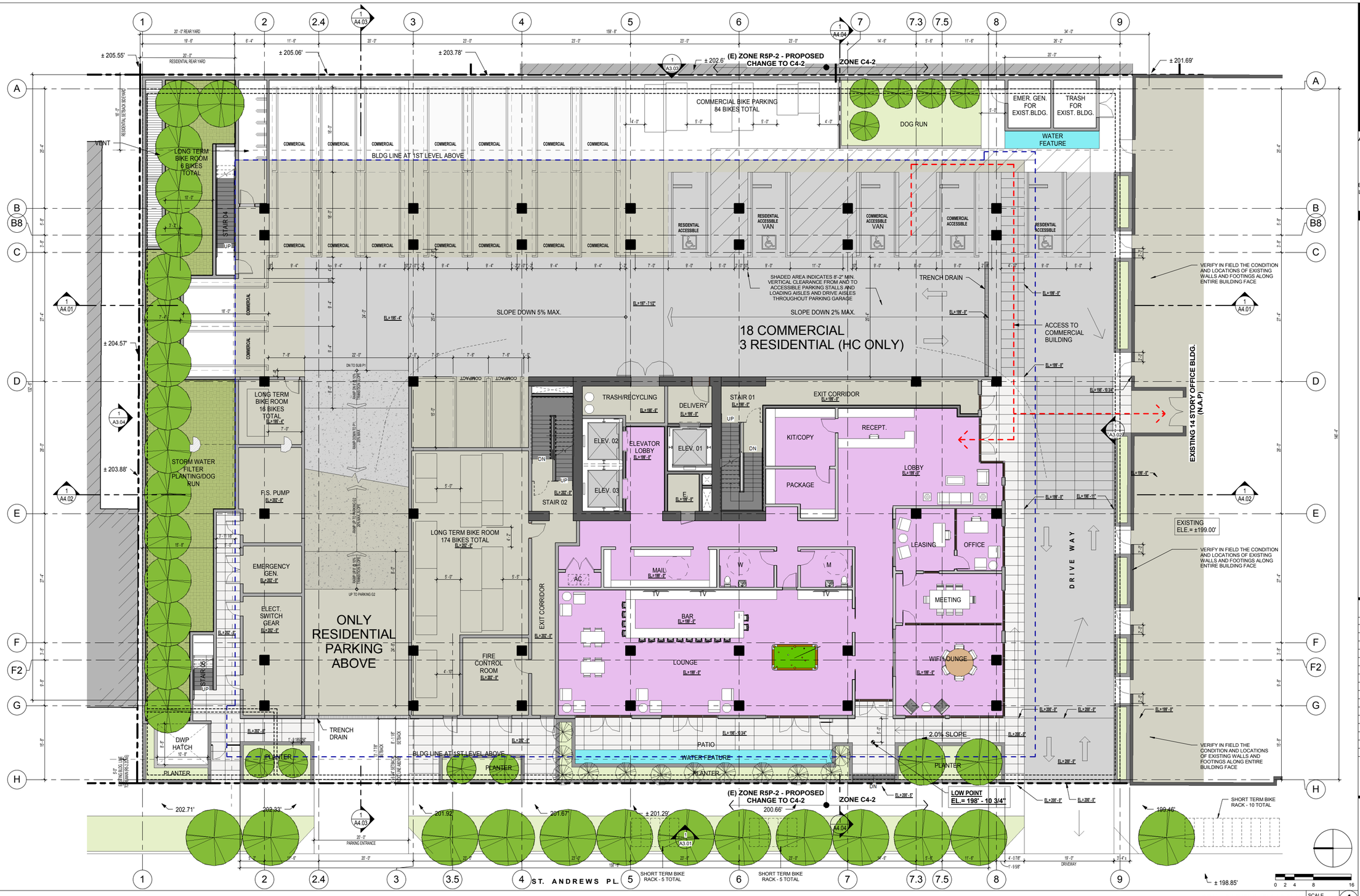

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SEAL

GROUND LEVEL G1 FLOOR PLAN

SCALE 1/8" = 1'-0"

1

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JOB NO. 082614

SHEET TITLE

GROUND LEVEL - G1 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.03

GROUND LEVEL - G1

ACCESSIBLE PARKING	3
ACCESSIBLE PARKING VAN	2
COMPACT	2
STANDARD	9
STANDARD TANDEM	7
	23
TOTAL PARKING SPACES PROVIDED:	23

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
- CONCRETE MASONRY UNIT WITH FURRED WALL
- CONCRETE WALL

NOTES:

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FOR ALL OTHER WALL TYPES - SEE A9.02 & A9.03

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PLAN NOTES

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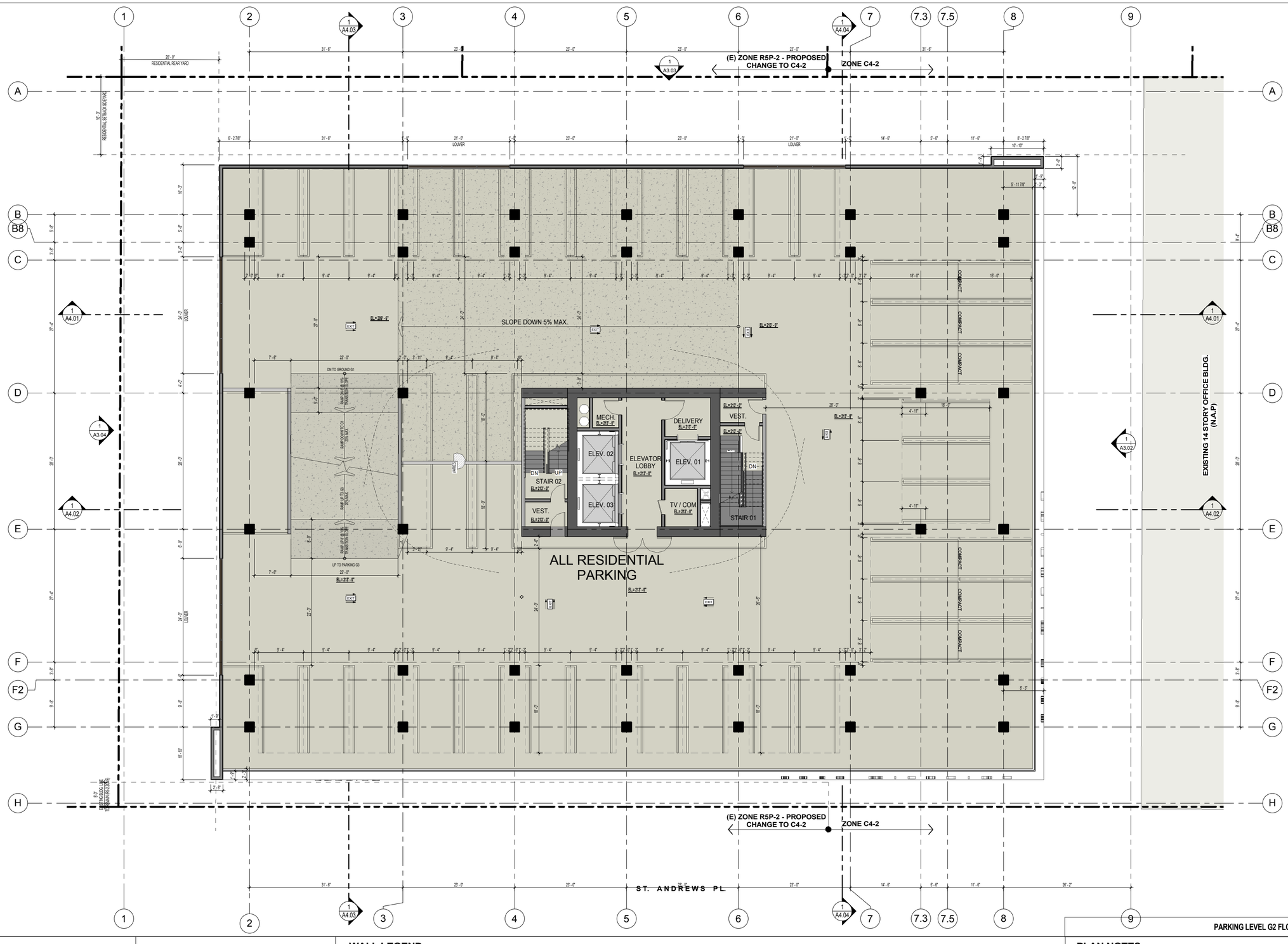

PARKING LEVEL G2 FLOOR PLAN

SCALE 1/8" = 1'-0"

PARKING LEVEL - G2	
COMPACT TANDEM	6
STANDARD	35
	41
TOTAL PARKING SPACES PROVIDED:	41

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
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JOB NO. 082614

SHEET TITLE

PARKING LEVEL - G2 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.04

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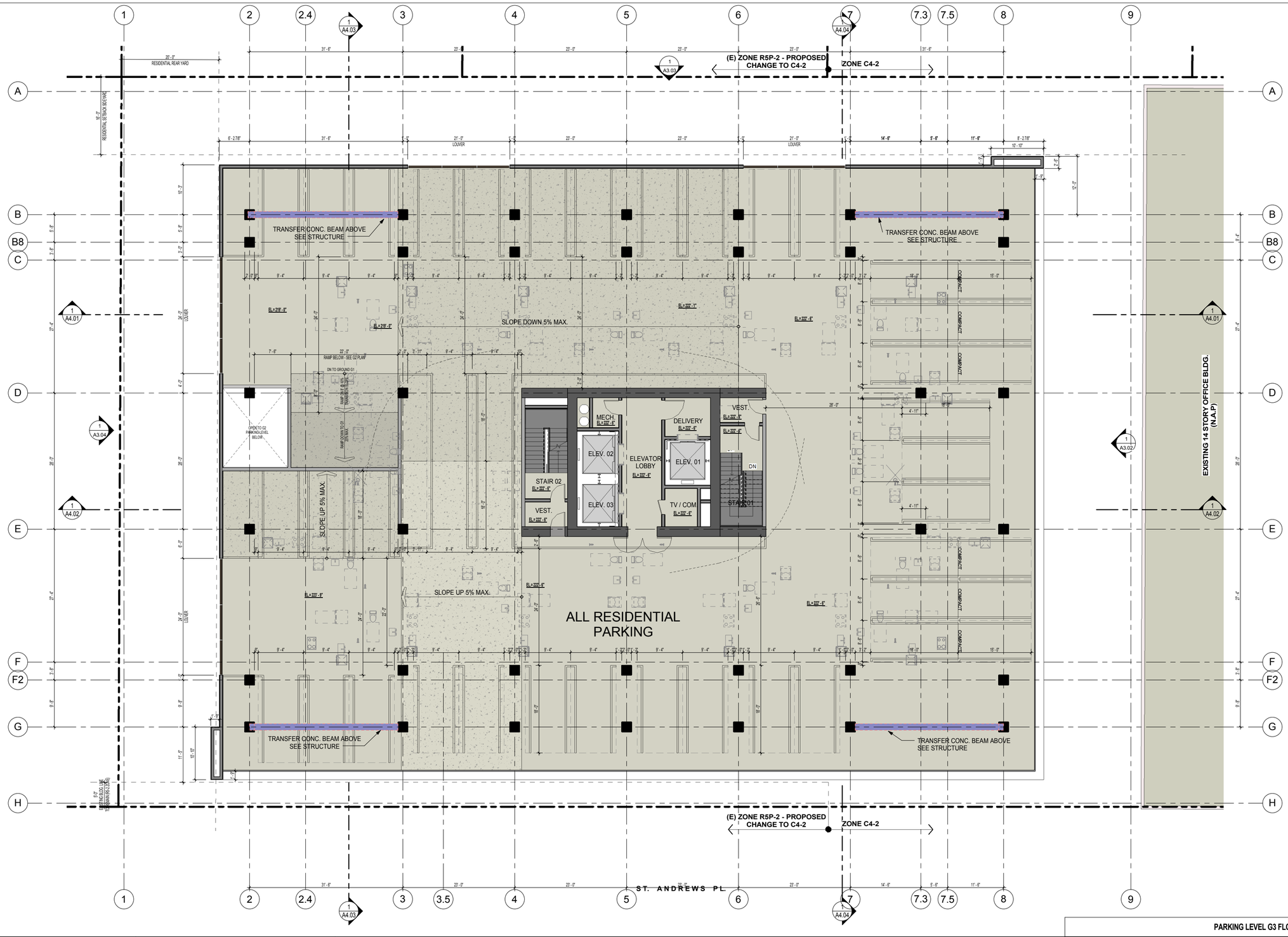

PARKING LEVEL G3 FLOOR PLAN | SCALE 1/8" = 1'-0" | 1

PARKING LEVEL - G3	
COMPACT TANDEM	6
STANDARD	38
	44
TOTAL PARKING SPACES PROVIDED:	44

SEE SHEET A1.02 FOR ADDITIONAL PARKING SUMMARY INFORMATION

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
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NOTES:

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JOB NO. 082614

SHEET TITLE
PARKING LEVEL - G3 FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.
A2.05

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1ST/PODIUM LEVEL FLOOR PLAN 1 SCALE 1/8" = 1'-0"

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
- TYPICAL INTERIOR PARTITION
- CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR SIZES)
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NOTES:

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JOB NO. 082614

SHEET TITLE
1ST/PODIUM LEVEL FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.
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2ND THRU 12TH FLOOR PLAN TYP. SCALE 1/8" = 1'-0" 1

WALL LEGEND

- 2HR FIRE RATED WALL
- PARTY WALL - 1HR FIRE RATED
- CORRIDOR WALL - 1HR FIRE RATED
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JOB NO. 082614

SHEET TITLE

2ND / 12TH FLOOR PLAN TYP.

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.07

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ROOF DECK / PH LEVEL 1

SCALE 1/8" = 1'-0"

WALL LEGEND

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JOB NO. 082614

SHEET TITLE

ROOF DECK / PH LEVEL FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.08

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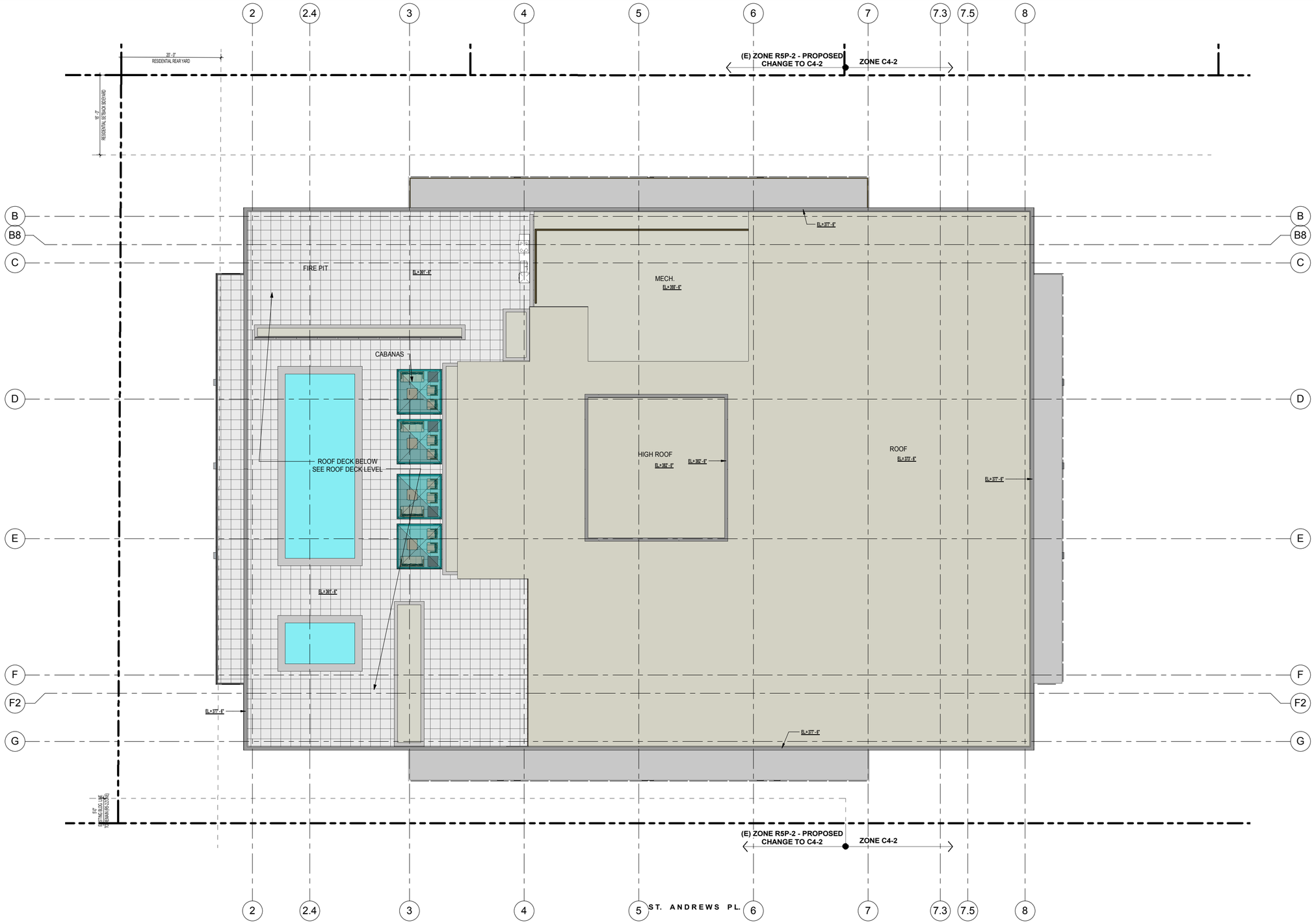

0 2 4 8 16

UPPER ROOF SCALE 1/8" = 1'-0" **1**

WALL LEGEND

- 2HR FIRE RATED WALL
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3875 WILSHIRE BLVD.

3875 WILSHIRE BLVD. LOS ANGELES

OWNER

JPB Partners, Inc.

PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

SEAL

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JOB NO. 082614

SHEET TITLE

UPPER ROOF LEVEL FLOOR PLAN

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A2.09

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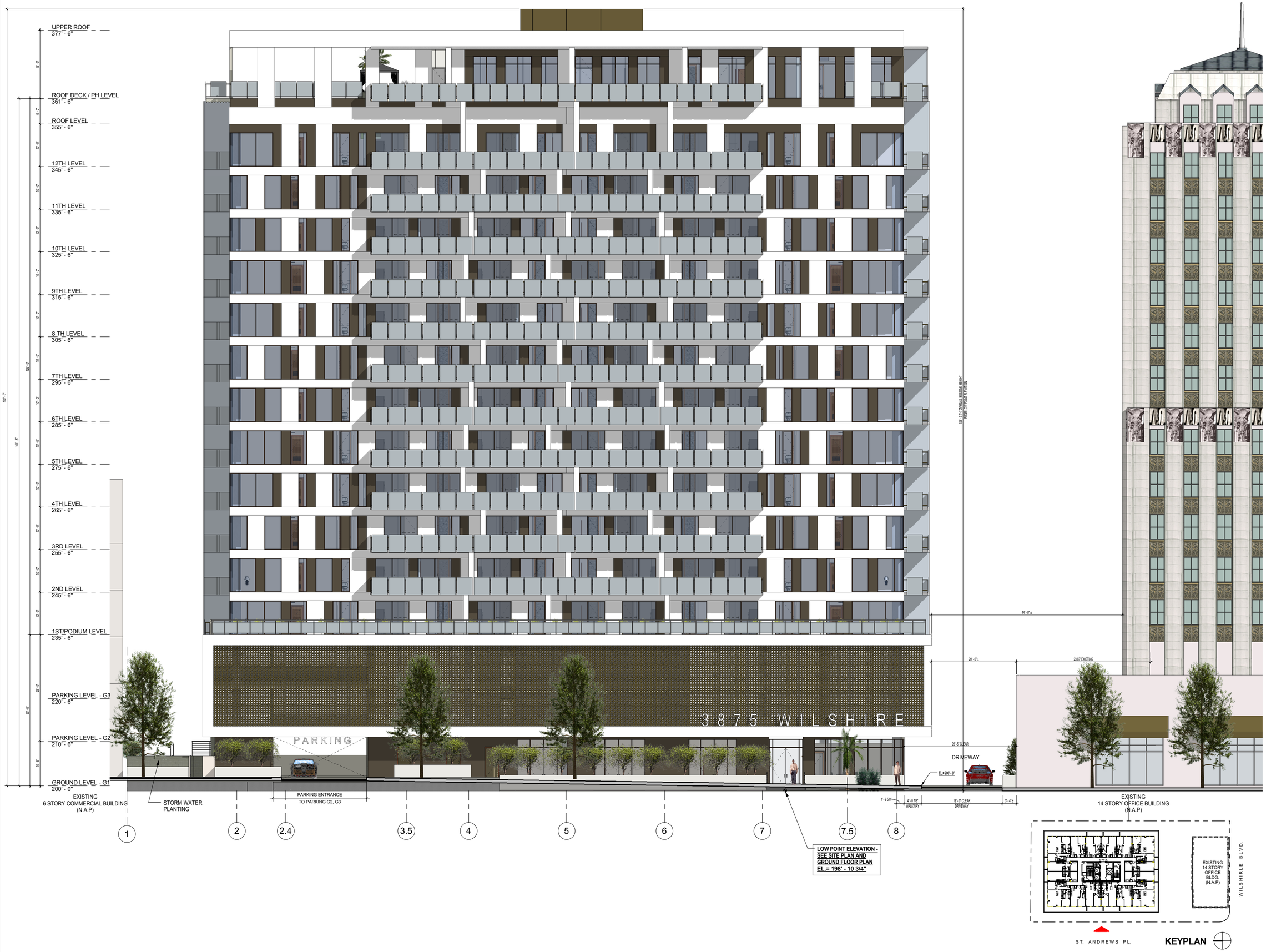

BLDG ELEVATION - WEST / ST. ANDREWS PL.

SCALE 1/8" = 1'-0"

1

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JOB NO. 082614

SHEET TITLE

BLDG ELEVATION - WEST / ST. ANDREWS PL.

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A3.01

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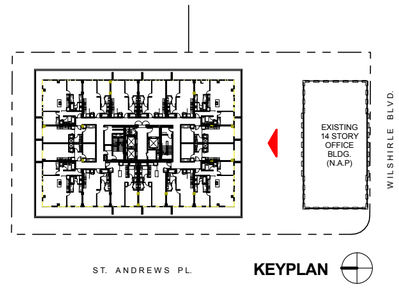

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JOB NO. 082614

SHEET TITLE

BLDG ELEVATION - SOUTH

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A3.02

BLDG ELEVATION - SOUTH | SCALE 1/8" = 1'-0" | 1

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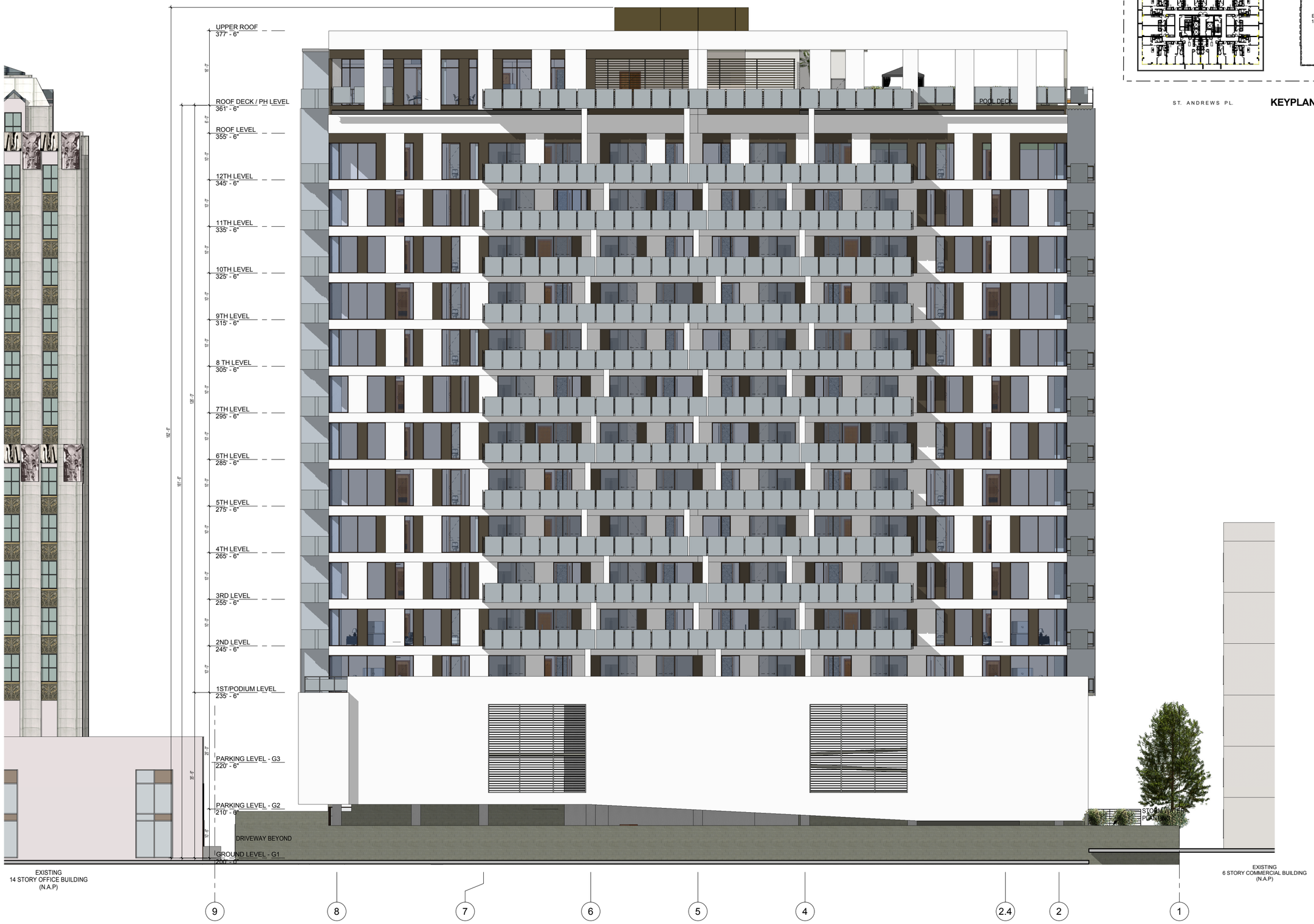

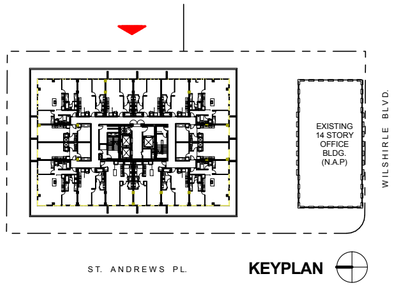

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PROJECT TEAM

ISSUE DATES

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JOB NO. 082614

SHEET TITLE

BLDG ELEVATION - EAST

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A3.03

BLDG ELEVATION - EAST | SCALE 1/8" = 1'-0" | 1

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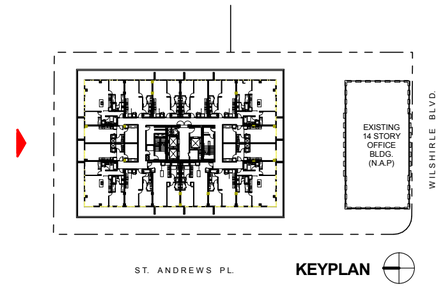

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PROJECT TEAM

ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

BLDG ELEVATION - NORTH

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A3.04

BLDG ELEVATION - NORTH | SCALE 1/8" = 1'-0" | 1

7/20/2016 10:57:07 AM C:\Users\gmparch\Documents\3875 WILSHIRE_CENTRAL_new_detached_gmparch_HD.rvt

ROOF ALUMINUM GLASS SCREEN WALL - FRAME CLEAR ANODIZED ALUMINUM FINISH

ALUMINUM METAL PANELS REYNOBOND - LIGHT BRONZE ANODIZED

SMOOTH CEMENT PLASTER - WHITE ACRYLIC FINISH

ALUMINUM WINDOW WALL SYSTEM WITH LOW 'E' GREY TINT GLASS - FRAME LIGHT BRONZE ANODIZED FINISH

LED LIGHT PANEL

FRAMELESS GLASS & ALUMINUM RAIL SYSTEM - FRAME CLEAR ALUMINUM ANODIZED FINISH

ALUMINUM METAL PANELS REYNOBOND - LIGHT BRONZE ANODIZED

SMOOTH CEMENT PLASTER - WHITE ACRYLIC FINISH

OPEN WOVEN METAL MESH PANEL SYSTEM - LIGHT BRONZE FINISH

STONE TILE VENEER WITH INTEGRAL LIGHT STRIPS

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ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

EXTERIOR FINISHES

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

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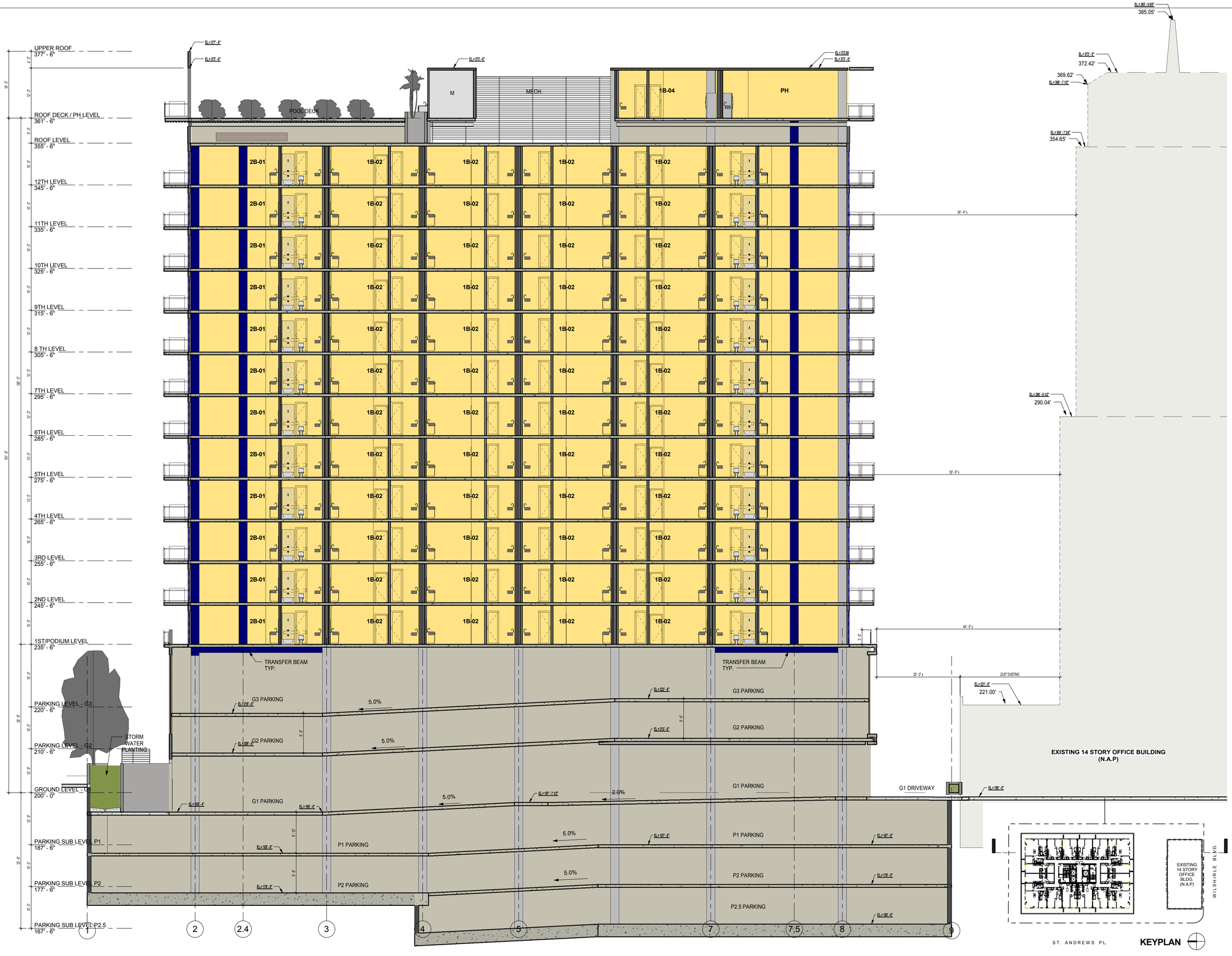

BUILDING SECTION | SCALE 1/8" = 1'-0" | 1

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PROJECT TEAM

ISSUE DATES

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JOB NO. 082614

SHEET TITLE

BUILDING SECTION

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

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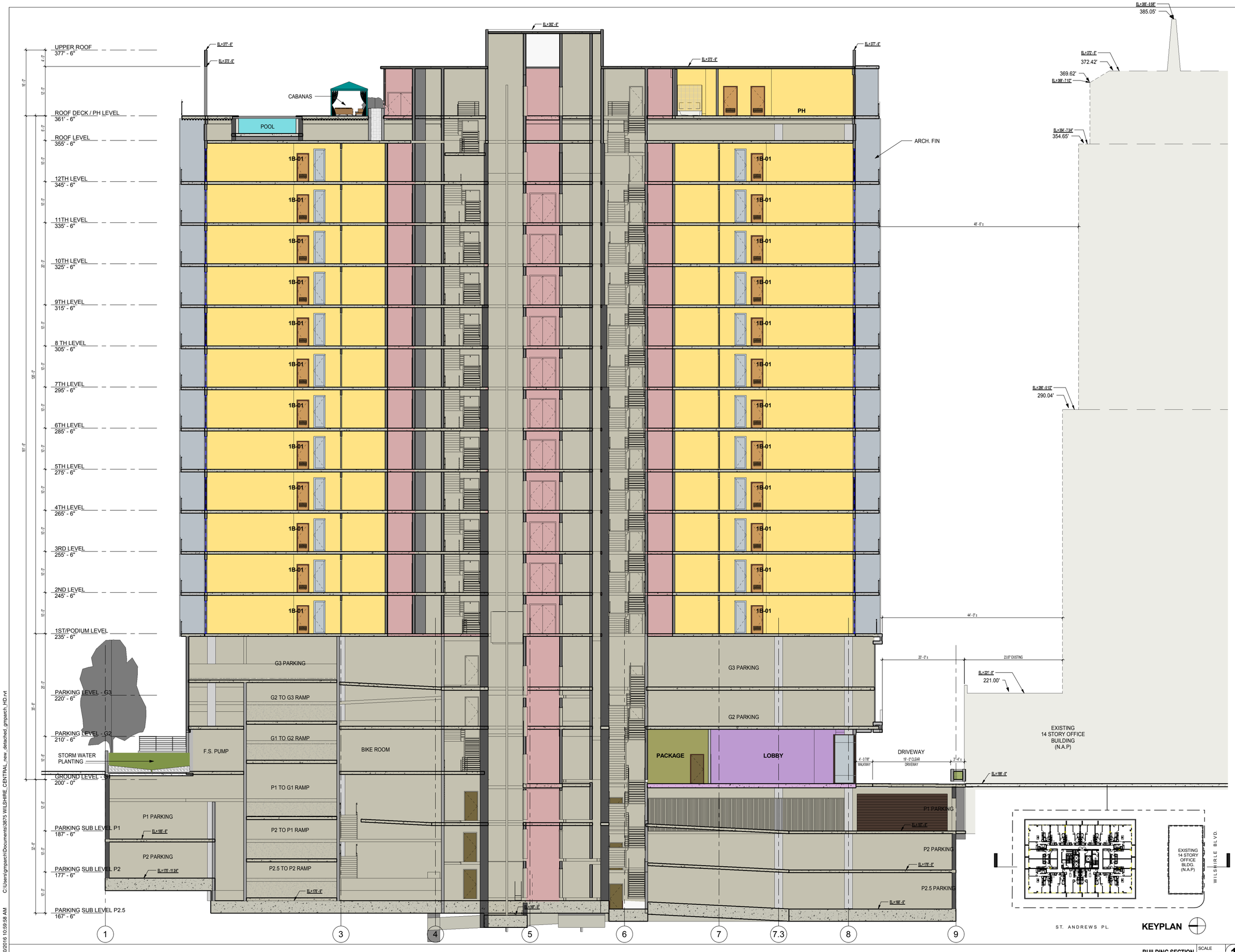

BUILDING SECTION | SCALE 1/8" = 1'-0" | 1

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ISSUE DATES

DATE	DESCRIPTION	NO.

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SHEET TITLE

BUILDING SECTION

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

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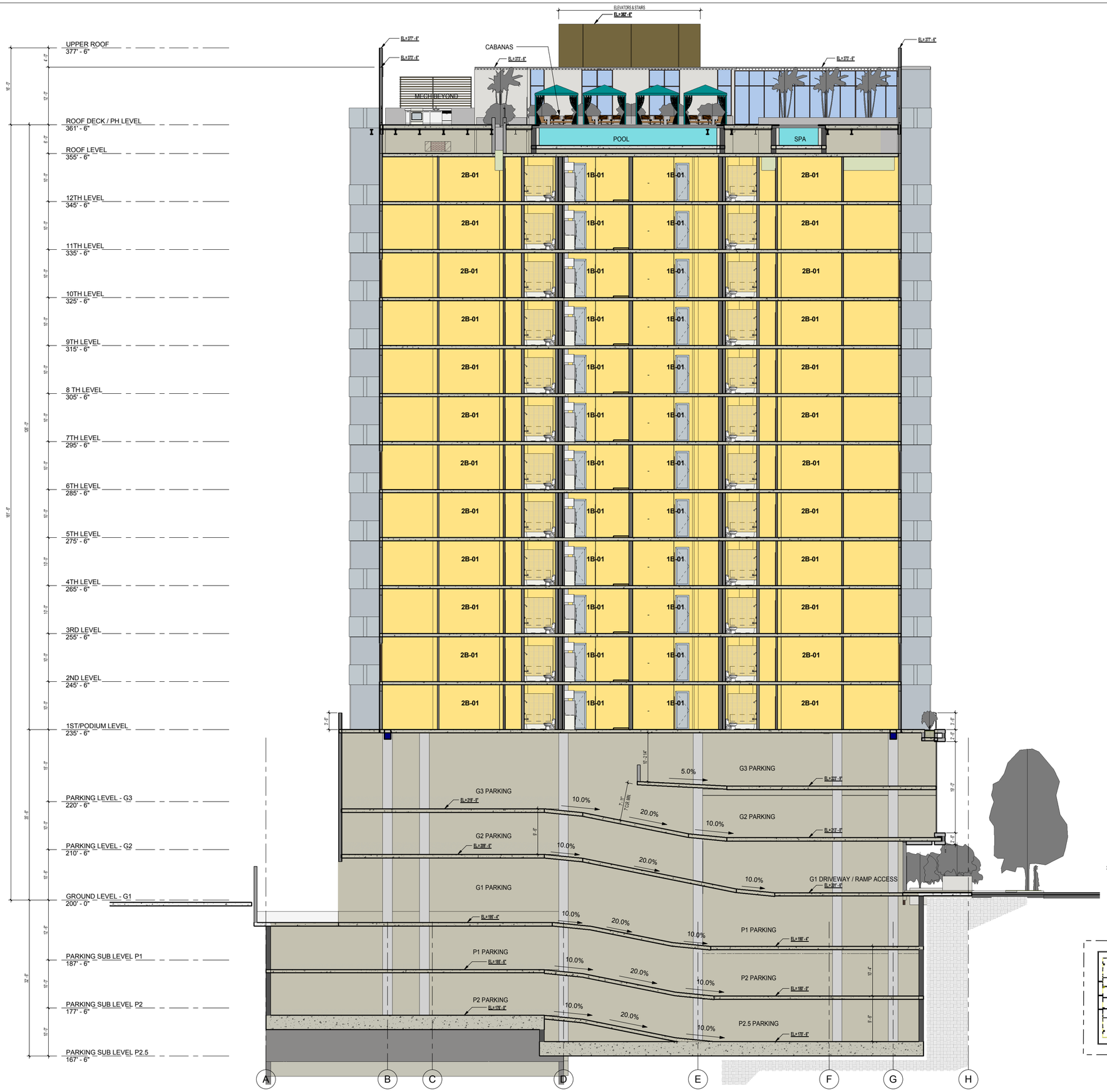

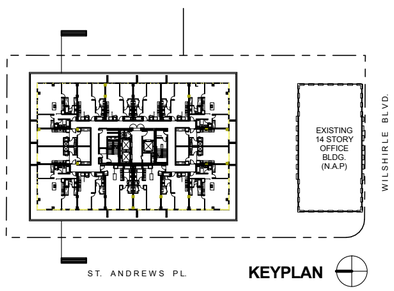

KEYPLAN

BUILDING SECTION | SCALE 1/8" = 1'-0" | 1

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ISSUE DATES

DATE	DESCRIPTION	NO.

DATE 7.18.2016

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JOB NO. 082614

SHEET TITLE

BUILDING SECTION

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A4.03

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BUILDING SECTION | SCALE 1/8" = 1'-0" | 1

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ISSUE DATES

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JOB NO. 082614

SHEET TITLE

BUILDING SECTION

STATUS ENTITLEMENT SUBMITTAL

SHEET NO.

A4.04

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Attachment C

DPR Form, Koreatown Recovery Redevelopment Area Historic Resources Survey (2009)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CS
Other Listings _____
Review Code _____ Reviewer _____ Date _____

***Resource Name or #:** (Assigned by recorder) Wilshire Medical Building

P1. Other Identifier: _____

***P2. Location:** ___ **Not for Publication** X **Unrestricted** ***a. County** Los Angeles County

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Hollywood **Date:** 1996

c. Address: 3875 WILSHIRE BLVD City: LOS ANGELES Zip: 90010

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: _____

APN:5503032011

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A) Property Type: commercial **B) Setting (general):** commercial block **C) General characteristics. Architectural Style:** Art Deco, elements of **Plan:** rectangular **No. Stories:** 14 **Siding/Sheathing:** stucco: smooth, All Visible **Roof:** hipped, medium, parapet, multiple rooflines **Construction** unknown **D) Specific features**. **Fenestration:** metal, casement, front **Primary Entrance:** front **G) Alterations or changes to the property. Retai integrity:** medium

***P3b. Resource Attributes:** (List attributes and codes) HP07

***P4. Resources Present:** X Building ___ Structure ___ Object ___ Site ___ District ___ Element of District ___ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)

P5b. Description of photo: (View, data, accession #)

View to the Northeast, 09/03/08

***P6. Date Constructed/Age and Sources:** X Historic ___ Prehistoric ___ Both

1934

Assessor

***P7. Owner and Address:**

JAMISON 3875 WILSHIRE LLC
3807 WILSHIRE BLVD (NO 300)
LOS ANGELES, CA 90010

***P8. Recorded by:**

Peter Moruzzi
PCR Services Corporation
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

***P9. Date Recorded:** 09/08/2008

***P10. Survey Type:** (Describe)

Intensive

***P11. Report Citation:** (Cite survey report and other sources or enter "none.")

PCR Services Corporation Historic Resources Survey of the Wilshire Center/Koreatown Recovery Redevelopment Project Area. Prepared for the Community Redevelopment Agency of the City of Los Angeles in collaboration with Chattel Architecture (lead) and LSA Associates, Inc., March 2009.

***Attachments:** ___ None ___ Location Map X Sketch Map X Continuation Sheet X Building, Structure, and Object Record
___ Archeological Record ___ District Record ___ Linear Feature Record ___ Milling Station Record
___ Rock Art Record ___ Artifact Record ___ Photograph Record ___ Other (List): _____

Attachment D

HCM Application (2015)

DEPARTMENT OF
CITY PLANNING
OFFICE OF HISTORIC RESOURCES
200 N. SPRING STREET, ROOM 559
LOS ANGELES, CA 90012-4801
(213) 978-1200

—

CULTURAL HERITAGE COMMISSION

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PRESIDENT

GAIL KENNARD
VICE-PRESIDENT

JEREMY IRVINE
BARRY A. MILOFSKY
ELISSA SCRAFANO

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FELY C. PINGOL
COMMISSION EXECUTIVE ASSISTANT
(213) 978-1294

CITY OF LOS ANGELES

CALIFORNIA

ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

MICHAEL LOGRANDE
DIRECTOR
(213) 978-1271

LISA WEBBER, AICP
DEPUTY DIRECTOR
(213) 978-1274

JAN ZATORSKI
DEPUTY DIRECTOR
(213) 978-1273

FAX: (213) 978-1275

INFORMATION
(213) 978-1270

www.planning.lacity.org

Date: FEB 17 2015

Los Angeles City Council
Room 395, City Hall
200 North Spring Street
Los Angeles, California 90012

Attention: Sharon Gin, Legislative Assistant
Planning and Land Use Management Committee

CASE NUMBER: **CHC-2014-3202-HCM**
WILSHIRE PROFESSIONAL BUILDING
3875 WILSHIRE BOULEVARD

At the Cultural Heritage Commission meeting of **February 5, 2015**, the Commission moved to include the above property in the list of Historic-Cultural Monument, subject to adoption by the City Council.

As required under the provisions of Section 22.171.10 of the Los Angeles Administrative Code, the Commission has solicited opinions and information from the office of the Council District in which the site is located and from any Department or Bureau of the city whose operations may be affected by the designation of such site as a Historic-Cultural Monument. Such designation in and of itself has no fiscal impact. Future applications for permits may cause minimal administrative costs.

The City Council, according to the guidelines set forth in Section 22.171 of the Los Angeles Administrative Code, shall act on the proposed inclusion to the list within 90 days of the Council or Commission action, whichever first occurs. By resolution, the Council may extend the period for good cause for an additional 15 days.

The Cultural Heritage Commission would appreciate your inclusion of the subject modification to the list of Historic-Cultural Monuments upon adoption by the City Council.

The above Cultural Heritage Commission action was taken by the following vote:

Moved: Commissioner Kennard
Seconded: Commissioner Scrafano
Ayes: Commissioner Irvine, Milofsky, and Barron

Vote: 5-0

Fely C. Pingol, Commission Executive Assistant
Cultural Heritage Commission

Attachment: Application

c: Councilmember Herb J. Wesson, Jr., Tenth Council District
Charles J. Fisher
GIS

DEPARTMENT OF
CITY PLANNING
OFFICE OF HISTORIC RESOURCES
200 N. SPRING STREET, ROOM 559
LOS ANGELES, CA 90012-4801
(213) 978-1200

CULTURAL HERITAGE COMMISSION

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LISA WEBBER, AICP
DEPUTY DIRECTOR
(213) 978-1274

JAN ZATORSKI
DEPUTY DIRECTOR
(213) 978-1273

FAX: (213) 978-1275

INFORMATION
(213) 978-1270
www.planning.lacity.org

Date: FEB 17 2015

3875 Wilshire Company
3875 Wilshire Boulevard
Los Angeles CA 90010

Jamison 3875 Wilshire LLC
c/o Thomson Reuters, Inc.
PO Box 847
Carlsbad. CA 92018

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

CASE NUMBER: **CHC-2014-3202-HCM**
WILSHIRE PROFESSIONAL BUILDING
3875 WILSHIRE BOULEVARD

As you will note from the attached copy of our communication to the Los Angeles City Council, the Cultural Heritage Commission has moved to include the above-referenced property in the list of Historic-Cultural monuments, subject to adoption by the City Council.

In due course, our transmittal will be given a council file number and will be referred to the Council's Planning and Land Use Management Committee for review and recommendation. If you are interested in attending the Council Committee meeting, you should call Sharon Gin at (213) 978-1074 for information as to the time and place of the Committee and City Council meetings regarding this matter. Please give Ms. Gin at least one week from the date of this letter to schedule this item on the Committee Agenda before you call her.

The above Cultural Heritage Commission action was taken by the following vote:

Moved: Commissioner Kennard
Seconded: Commissioner Scrafano
Ayes: Commissioners Irvine, Milofsky, and Barron

Vote: 5 - 0

Fely C. Pingol, Commission Executive Assistant
Cultural Heritage Commission

Attachment: Application

c: Councilmember Herb J. Wesson, Jr., Tenth Council District
Charles J. Fisher
GIS

Los Angeles Department of City Planning
RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2014-3202-HCM
ENV-2014-3203-CE

HEARING DATE: February 5, 2015
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 N. Spring Street
Los Angeles, CA
90012

Location: 3875 Wilshire Boulevard
Council District: 10
Community Plan Area: Wilshire
Area Planning Commission: Central
Neighborhood Council: Wilshire Center - Koreatown
Legal Description: WESTMINSTER PLACE, Block G, Lots 14, 15, 16

PROJECT: Historic-Cultural Monument Application for the WILSHIRE PROFESSIONAL BUILDING

REQUEST: Declare the property a Historic-Cultural Monument

OWNER(S):

3875 Wilshire Company
3875 Wilshire Boulevard
Los Angeles, CA 90010

Jamison 3875 Wilshire LLC.
c/o Thomson Reuters, Inc.
PO Box 847
Carlsbad, CA 92018

APPLICANT:

Art Deco Society of Los Angeles
Charles Fisher
140 S. Avenue 57
Highland Park, CA 90042

RECOMMENDATION **That the Cultural Heritage Commission:**

1. **Declare the subject property** a Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.7.

2. **Adopt** the staff report and findings.

MICHAEL J. LOGRANDE
Director of Planning

Ken Bernstein, AICP, Manager
Office of Historic Resources

Lambert M. Giessinger, Preservation Architect
Office of Historic Resources

Nels Youngborg, Preservation Planner
Office of Historic Resources

Attachments: Historic-Cultural Monument Application

FINDINGS

- The property embodies "the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction" as an example of the Art Deco style.

CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic structures or sites in which the broad cultural, economic, or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer or architect whose individual genius influenced his age.

SUMMARY

The 13-story Wilshire Professional Building was constructed in 1929 and exhibits character-defining features of the Art Deco, Zigzag Moderne style. The building has a regular, rectangular plan and is faced primarily with molded concrete, cast iron, and steel-framed windows. It is massed in three tiers: a one-story base extending over the parcel, a six-story, rectangular massing in the center, and a six-story, square tower on the top. It is articulated to appear as a central square tower rising from the base, flanked by two shoulders of smaller, shorter towers. Bands of steel awning windows and decorative panels, crossed by unbroken columns of thick concrete, define the bulk of the façade. The ground floor's original face is covered in stucco cladding and contemporary signage and awnings. The second floor, set back from the ground floor, features pairs of steel awning windows stacked upon each other between elaborate concrete pillars molded in a stylized floral motif. Running above both is a large, projecting concrete band with curving ridges and carved floral patterns on its face. Above the second floor, bands of steel awning windows run horizontally across the building. Above those are bands of decorative metal panels, cast in elaborate floral patterns. Thick, plain concrete columns, scored to resemble stone blocks, extend unbroken and divide the building vertically. The roof-line of the shoulders and the central tower are elaborately decorated with capital and pediment structures echoing forms found elsewhere on the building. The central tower is topped by a penthouse. Multiple angular, flying buttresses surround it and separate divided steel windows set in plain, segmented arches. The buttresses support a cornice below a sloping, concrete band upon which the pyramidal roof sits. Concrete flowers and a beacon atop a floral base adorn the roof.

The subject building was designed by prominent local architect Arthur E. Harvey who designed the Chateau Elysee (HCM #329), the Crocker Bank Building (HCM #298), Villa Carlotta (HCM #315), the Hollywood Woman's Club (HCM #604), and the American Storage Company Building (1928).

There are noticeable alterations to the first floor and the main entrance, and structures on top of the east shoulder of unknown date and configuration.

DISCUSSION

Wilshire Professional Building successfully meets one of the specified Historic-Cultural Monument criteria: 1) embodies "the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction." The subject property demonstrates an array of high quality details, including the terrazzo sidewalk, that make it an architectural specimen inherently valuable for the study of Art Deco style in Los Angeles.

CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FINDINGS

State of California CEQA Guidelines, Article 19, Section 15308, Class 8 "*consists of actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.*"

State of California CEQA Guidelines Article 19, Section 15331, Class 31 "*consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic buildings.*"

The designation of Wilshire Professional Building as a Historic-Cultural Monument in accordance with Chapter 9, Article 1, of The City of Los Angeles Administrative Code ("LAAC") will ensure that future construction activities involving the subject property are regulated in accordance with Section 22.171.14 of the LAAC. The purpose of the designation is to prevent significant impacts to a Historic-Cultural Monument through the application of the standards set forth in the LAAC. Without the regulation imposed by way of the pending designation, the historic significance and integrity of the subject property could be lost through incompatible alterations and new construction and the demolition of irreplaceable historic structures. The Secretary of the Interior's Standards of Rehabilitation are expressly incorporated into the LAAC and provide standards concerning the historically appropriate construction activities which will ensure the continued preservation of the subject property.

The use of Categorical Exemption Class 8 in connection with the proposed designation is consistent with the goals of maintaining, restoring, enhancing, and protecting the environment through the imposition of regulations designed to prevent the degradation of Historic-Cultural Monuments.

The use of Categorical Exemption Class 31 in connection with the proposed designation is consistent with the goals relating to the preservation, rehabilitation, restoration and reconstruction of historic buildings in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving Rehabilitating, Restoring, and Reconstructing Historic Buildings.

BACKGROUND

On December 4th, 2014 the Cultural Heritage Commission took the property under consideration with a Commission-Initiated Motion. On January 15th, a subcommittee of the Commission

consisting of Commissioners Barron and Irvine toured the property accompanied by a staff person from the Office of Historic Resources.

HISTORIC-CULTURAL MONUMENT APPLICATION

TYPE OR PRINT IN ALL CAPITAL BLOCK LETTERS

IDENTIFICATION

1. NAME OF PROPOSED MONUMENT WILSHIRE PROFESSIONAL BUILDING

2. STREET ADDRESS 3875 WILSHIRE BOULEVARD

   CITY LOS ANGELES ZIP CODE 90010 COUNCIL DISTRICT 10

3. ASSESSOR'S PARCEL NO. 5503-032-011

4. COMPLETE LEGAL DESCRIPTION: TRACT WESTMINSTER PLACE, AS PER MAP IN BOOK 9, PAGES 61 OF MAPS FILED, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER.

   BLOCK N/A LOT(S) 14, 15 AND 16 ARB. NO. N/A

5. RANGE OF ADDRESSES 3869 THRU 3881 WILSHIRE BOULEVARD AND 631 THRU 651 S. ST ANDREWS PLACE

6. PRESENT OWNER JAMISON 3875 WILSHIRE LLC, C/O THOMSON REUTERS, INCORPORATED

   STREET ADDRESS P. O. BOX 847

   CITY CARLSBAD STATE CA ZIP CODE 92018 PHONE (213) 382-5124 EMAIL:

   OWNER IS: PRIVATE X PUBLIC

7. PRESENT USE OFFICE BUILDING ORIGINAL USE OFFICE BUILDING

DESCRIPTION

8. ARCHITECTURAL STYLE ART DECO

9. STATE PRESENT PHYSICAL DESCRIPTION OF THE SITE OR STRUCTURE (SEE OPTIONAL DESCRIPTION WORKSHEET)

   (SEE DESCRIPTION WORKSHEET)

HISTORIC-CULTURAL MONUMENT APPLICATION

NAME OF PROPOSED MONUMENT WILSHIRE PROFESSIONAL BUILDING

10. CONSTRUCTION DATE: FACTUAL 1929 ESTIMATED

11. ARCHITECT , DESIGNER, OR ENGINEER: ARTHUR E. HARVEY

12. CONTRACTOR OR OTHER BUILDER: LUTHER T. MAYO, INC.

13. DATES OF ENCLOSED PHOTOGRAPHS C 1930, APRIL 5, 2007 AND JUNE 21, 2013

14. CONDITION: EXCELLENT ☒ GOOD FAIR DETERIORATED NO LONGER IN EXISTENCE

ALTERATIONS: GROUND FLOOR EXTERIOR COVERED OVER BUT ORIGINAL SURFACE MAY BE UNDERNEATH. ALTERATIONS TO THE MAIN LOBBY INCLUDING EXTENDING IT IN 1952 AND GENERAL CHANGES TO OFFICE SPACE HAVE BEEN MADE OVER THE YEARS. A VERTICAL FLAGPOLE, ONCE AT THE FRONT CENTER OF THE HIGHEST ROOF, HAS BEEN REMOVED. DOORS TO ALL OFFICE SUITES REPLACED IN 2000.

15. THREATS TO SITE ☒ NONE KNOWN PRIVATE DEVELOPMENT VANDALISM PUBLIC WORKS PROJECT

16. IS THE STRUCTURE ☒ ON ITS ORIGINAL SITE MOVED UNKNOWN

17. SIGNIFICANCE

BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE; INCLUDE DATES, EVENTS, AND PERSONS ASSOCIATED WITH SITE (SEE OPTIONAL SIGNIFICANCE WORKSHEET) BUILT IN 1929. THIS UNIQUE ART DECO OFFICE BUILDING WAS BUILT FOR PRESTON WRIGHT AND ASSOCIATES AS AN OFFICE BUILDING. DESIGNED BY THE ARCHITECT ARTHUR E. HARVEY, THE BUILDING IS NOTED FOR ITS UNUSUAL DESIGN IN SUCH PUBLICATIONS AS DAVID GEBHARD AND ROBERT W. WINTER'S "ARCHITECTURE IN LOS ANGELES-A COMPLEAT GUIDE". ARTHUR EDWARD HARVEY DESIGNED A NUMBER OF VERY VISIBLE BUILDINGS IN LOS ANGELES, INCLUDING THE CROCKER BAND BUILDING {AKA THE SELIG BUILDING} (HCM 298), THE VILLA CARLOTTA (HCM 315), CHATEAU ELYSEE (HCM 329) AND THE HOLLYWOOD WOMAN'S CLUBHOUSE (HCM 604). THE WILSHIRE PROFESSIONAL BUILDING IS ONE OF THE MOST DISTINGUISHED EXAMPLES OF ART DECO ARCHITECTURE IN SOUTHERN CALIFORNIA AND ONE OF SEVERAL LARGE BUILDINGS THAT WERE DESIGNED BY HARVEY IN CONJUNCTION WITH CONTRACTOR-DEVELOPER LUTHER T. MAYO. THE BUILDING IS ONE OF THE KEYSTONE STRUCTURES BUILT DURING THE GOLDEN AGE ALONG WILSHIRE BOULEVARD AND RETAINS ITS ART DECO/ZIGZAG MODERNE DESIGN IN AN IMPOSING WAY

18. SOURCES (LIST BOOKS, DOCUMENTS, SURVEYS, PERSONAL INTERVIEWS WITH DATES) LOS ANGELES CITY BUILDING PERMITS PER ATTACHED, LA COUNTY ASSESSORS RECORDS, RECORDED DEEDS, CENSUS RECORDS, LOS ANGELES COUNTY SUBDIVISION MAPS, LOS ANGELES TIMES ARTICLES, ARCHITECTURE IN LOS ANGELES-, A COMPLEAT GUIDE, ANGELS WALK, WILSHIRE GUIDE AND THE PCR SERVICES CORP. HISTORIC RESOURCES SURVEY OF THE WILSHIRE CENTER/KOREATOWN RECOVERY CRA PROJECT AREA

DATE FORM PREPARED APRIL 13, 2014 PREPARER'S NAME CHARLES J. FISHER

ORGANIZATION ART DECO SOCIETY OF LOS ANGELES STREET ADDRESS 140 S. AVENUE 57

CITY HIGHLAND PARK STATE CA ZIP CODE 90042 PHONE (323) 256-3593

E-MAIL ADDRESS: ARROYOSECO@HOTMAIL.COM

DESCRIPTION WORK SHEET

TYPE OR PRINT IN ALL CAPITAL BLOCK LETTERS

THE WILSHIRE PROFESSIONAL BUILDING (NAME OF PROPOSED MONUMENT) IS A 13 (NUMBER OF STORIES) STORY,

ART DECO/ZIG ZAG MODERNE (ARCHITECTURAL STYLE (SEE LINE B ABOVE)), RECTANGULAR (PLAN SHAPE (SEE CHART)) PLAN OFFICE BUILDING (STRUCTURE USE (RESIDENCE, ETC))

WITH A CONCRETE (MATERIAL (WOOD SIDING, WOOD SHINGLES, BRICK, STUCCO, ETC) FINISH AND STEEL (MATERIAL (WOOD, METAL, ETC.)) TRIM.

ITS PYRAMIDAL (ROOF SHAPE (SEE CHART)) ROOF IS COVERED WITH WHITE SLATE. (MATERIAL (CLAY TILE, ASPHALT OR WOOD SHINGLES) GLASS AND STEEL (WINDOW MATERIAL),

STEEL TRANSOM OVER FIXED PANE WITH VERTICAL SPLIT LIGHTS (WINDOW TYPE [DOUBLE HUNG (SLIDES UP & DOWN), CASEMENT (OPENS OUT), HORIZONTAL SLIDING, ETC]) ARE PART OF THE DESIGN.

THE ENTRY FEATURES A RECTANGULAR INSET PORCH WITH THE MAIN ENTRY TO THE LEFT (DOOR LOCATION (RECESSED, CENTERED, OFF-CENTER, CORNER, ETC.))

WITH A DOUBLE STEEL FRAMED GLASS COMMERCIAL TYPE (ENTRY DOOR STYLE (SEE CHART)) DOOR. ADDITIONAL CHARACTER DEFINING ELEMENTS

OF THE STRUCTURE ARE A TWO TIERED BUILDING WITH A CENTRAL SQUARE 6-STORY TOWER ABOVE A 7-STORY MAIN
(IDENTIFY **ORIGINAL FEATURES** SUCH AS PORCHES (SEE CHART); BALCONIES; NUMBER AND SHAPE OF DORMERS (SEE CHART);

RECTANGULAR BASE. THE SYMMETRICAL DESIGN INCLUDES VERTICAL BANDED ROWS OF WINDOWS WITH CUSTOM
NUMBER AND LOCATION OF CHIMNEYS; SHUTTERS; SECONDARY FINISH MATERIALS; PARAPETS; METAL TRIM; DECORATIVE TILE OR CAST STONE; ARCHES;

IDENTICAL METAL GRILLES, DEPICTING UNFURLING TALL LEAFED PLANTS AND VARIOUS GEOMETRIC PATTERNS ATOP SQUARE
ORNAMENTAL WOODWORK; SYMMETRY OR ASYMMETRY; CORNICES; FRIEZES; TOWERS OR TURRETS; BAY WINDOWS; HALFTIMBERING; HORIZONTALITY;

CONCRETE RECESSED PANELS BELOW EACH WINDOW ABOVE THE THIRD FLOOR. A DECORATIVE THREE-DIMENSIONAL BAND IS AT
VERTICALITY; FORMALITY OR INFORMALITY; GARDEN WALLS, ETC

THE BASE OF THE THIRD FLOOR WINDOWS, WHICH AGAIN DISPLAYS A SYMMETRICAL ABSTRACT PLANT DESIGN AS DOES AN
ADDITIONAL DEFINING ELEMENTS

ELABORATE PEDIMENT AT THE MAIN ROOFLINE. A LARGE CENTRAL PENTHOUSE IS SET IN THE CENTER OF THE ROOF, WHICH IS
ADDITIONAL DEFINING ELEMENTS

BRACKETED WITH MULTIPLE SQUARED FLYING BUTTRESSES' THAT FLANK EACH OF THE FOUR SIX LIGHT WINDOWS THAT ARE ON
ADDITIONAL DEFINING ELEMENTS

EACH FACADE OF THE PENTHOUSE. FOUR ADDITIONAL BRACKETS ARE PLACED ANGULARLY AT THE CORNERS OF THE PENTHOUSE.
ADDITIONAL DEFINING ELEMENTS

THESE BUTTRESSES HAVE INVERSE THEN OUTWARD CURVE AS THEY REACH THE BASE OF THE PENTHOUSE ROOF. A DOUBLE ARCH
ADDITIONAL DEFINING ELEMENTS

DESIGN JUST UNDER THE ROUNDED CONCRETE EAVE, ABOVE WHICH ARE FIVE TRIANGULAR PANELS ON EACH FACE, TOPPED BY
ADDITIONAL DEFINING ELEMENTS

CAST CONCRETE FLOWERS AT THE EDGE OF THE WHITE PATTERNED PYRAMIDAL ROOF, WHICH IS TOPPED BY A CIRCULAR BEACON
ADDITIONAL DEFINING ELEMENTS

SET UPON A DECORATIVE DECO-DESIGNED CONCRETE BASE. A PARKING GARAGE, WHICH IS ENTERED AT THE REAR OF
ADDITIONAL DEFINING ELEMENTS

THE BUILDING, ON ST. ANDREWS PLACE, IS LOCATED UNDER THE BUILDING. THE FIRST FLOOR STOREFRONT LEVEL IS
ADDITIONAL DEFINING ELEMENTS

COVERED OVER WITH LATER STONE OR CONCRETE PANELS, BUT MISSING SECTIONS OF THAT PANELING REVEAL VERTI-
ADDITIONAL DEFINING ELEMENTS

CAL LINED FLAT PILASTERS UNDER THE CURRENT FACADE. AN EARLY PHOTO SHOWS A DARK TILE BULKHEAD AT THE
ADDITIONAL DEFINING ELEMENTS

BASE, DECORATIVE GRILLES ABOVE THE WINDOWS AND A TRIANGULAR ROUNDED THEMED BAND ABOVE THE FIRST FLOOR
ADDITIONAL DEFINING ELEMENTS

SECONDARY BUILDINGS CONSIST OF THERE ARE NO SECONDARY BUILDINGS.
(IDENTIFY GARAGE, GARDEN SHELTER, ETC.

SIGNIFICANT INTERIOR SPACES INCLUDE AN ARCHED ELEVATOR LOBBY WITH SQUARE DECO LIGHT FIXTURES
(IDENTIFY **ORIGINAL FEATURES** SUCH AS WOOD PANELING, MOLDINGS AND TRIM, SPECIAL GLASS WINDOWS

CITY OF LOS ANGELES

SIGNIFICANCE WORK SHEET

TYPE OR HAND PRINT IN ALL CAPITAL BLOCK LETTERS

Complete One or Both of the Upper and Lower Portions of This Page

ARCHITECTURAL SIGNIFICANCE

THE WILSHIRE PROFESSIONAL BUILDING IS AN IMPORTANT EXAMPLE OF
NAME OF PROPOSED MONUMENT

ART DECO-ZIG ZAG MODERNE ARCHITECTURE
ARCHITECTURAL STYLE (SEE LINE 8)

AND MEETS THE CULTURAL HERITAGE ORDINANCE BECAUSE OF THE HIGH QUALITY OF ITS DESIGN AND THE RETENTION OF ITS ORIGINAL FORM, DETAILING AND INTEGRITY.

AND/OR

HISTORICAL SIGNIFICANCE

THE WILSHIRE PROFESSIONAL BUILDING WAS BUILT IN 1929
NAME OF PROPOSED MONUMENT YEAR BUILT

ARTHUR HARVEY AND ART DECO ARCHITECTURE WAS IMPORTANT TO THE
NAME OF FIRST OR OTHER SIGNIFICANT OWNER

DEVELOPMENT OF LOS ANGELES BECAUSE THE WILSHIRE PROFESSIONAL BUILDING WAS ONE OF THE MOST SIGNIFICANT BUILDINGS THAT WAS DESIGNED DURING THE DEVELOPMENT OF THE WILSHIRE CENTER AREA, ALONG WILSHIRE BOULEVARD. BUILT CONCURRENTLY WITH, BUT COMPLETED BEFORE, THE NEARBY PELLISSIER BUILDING (HCM 118), IT WAS THE FIRST OF A SERIES OF "HEIGHT LIMIT" SKYSCRAPERS TO BE CONSTRUCTED ON WILSHIRE AT THE END OF THE THOROUGHFARE'S FIRST MAJOR PERIOD OF DEVELOPMENT JUST BEFORE THE ADVENT OF THE GREAT DEPRESSION. THE WEDDING CAKE LIKE MASSING OF THE BUILDING PROVIDES IT WITH ONE OF THE MOST RECOGNIZABLE DESIGNS ALONG THE BOULEVARD. THE ARCHITECT, ARTHUR EDWARD HARVEY, WAS AT THE HEIGHT OF HIS EARLY SOLO CAREER, HAVING PREVIOUSLY DESIGNED SEVERAL LOS ANGELES ICONS, SUCH AS THE CHATEAU ELYSEE (HCM 329), VILLA CARLOTTA (HCM 315) AND THE AMERICAN STORAGE BUILDING ON BEVERLY BOULEVARD. HARVEY HAD RECENTLY LEFT THE FIRM OF MORGAN WALLS AND CLEMENTS, WHERE HE HAD WORKED ON THE DESIGN OF THE ICONIC ATLANTIC RICHFIELD TOWER (DEMOLISHED IN 1969). ALONG WITH THE AMERICAN STORAGE BUILDING, THE WILSHIRE PROFESSIONAL BUILDING HAS NEVER BEEN OFFICIALLY RECOGNIZED LOCALLY. IT IS, HOWEVER, LISTED WITH A POTENTIAL NATIONAL REGISTER ELIGIBILITY (3CS) RATING BY PCR SERVICES CORPORATION IN THE HISTORIC RESOURCES SURVEY FOR THE WILSHIRE/KOREATOWN RECOVERY REDEVELOPMENT PROJECT AREA. THE SURVEY ERRONEOUSLY LISTS IT AS THE "WILSHIRE MEDICAL BUILDING", WHICH ACTUALLY STANDS

AT 1930 WILSHIRE BOULEVARD. THE SUBJECT BUILDING WAS DESIGNED AS A FACILITY FOR PHYSICIANS AS WELL, BUT REMAINS TO THE PRESENT DAY, AN OFFICE BUILDING NOT ONLY USED BY DOCTORS, DENTIST, CHIROPRACTORS AS WELL AS SEVERAL MEDICAL SCHOOLS, BUT WAS AND IS PRESENTLY ALSO USED BY OTHER PROFESSIONALS SUCH AS LAWYERS AND ARCHITECTS, TRAVEL AGENTS AND ACTING AGENTS. A BIOGRAPHY OF THE ARCHITECT, SHOWING HIS LIFE AND CAREER IN MORE DETAIL, IS ATTACHED TO THIS NOMINATION. THE BUILDING IS A SIGNIFICANT EXAMPLE OF THE ART DECO STYLE WHICH FIRST BEGAN TO APPEAR IN FRANCE AFTER WORLD WAR I, FLOURISHING INTERNATIONALLY IN THE 1920S, 1930S AND 1940S BEFORE ITS POPULARITY WANED AFTER WORLD WAR II. IT IS AN ECLECTIC STYLE THAT COMBINES TRADITIONAL CRAFT MOTIFS WITH MACHINE AGE IMAGERY AND MATERIALS. THE STYLE IS OFTEN CHARACTERIZED BY RICH COLORS, BOLD GEOMETRIC SHAPES, AND LAVISH ORNAMENTATION. THE STYLE IS FOUND THROUGHOUT THE UNITED STATES, MOSTLY IN LARGER CITIES, ESPECIALLY NEW YORK, CHICAGO AND PARTICULARLY IN MIAMI, FLORIDA. THE STYLE WAS FIRST REFERRED TO AS "ART DECO" IN 1925 BY THE ARCHITECT CHARLES-ÉDOUARD JEANNERET-GRIS, BETTER KNOWN AS "LE CORBUSIER", WHO WROTE A SERIES OF ARTICLES FOR HIS JOURNAL "L'ESPRIT NOUVEAU" UNDER THE SECTION "1925 EXPO: ARTS DÉCO". HE WAS REFERRING TO THE 1925 EXPOSITION INTERNATIONALE DES ARTS DÉCORATIFS ET INDUSTRIELS MODERNES (INTERNATIONAL EXPOSITION OF MODERN DECORATIVE AND INDUSTRIAL ARTS), WHICH WAS HELD THAT YEAR. THE TERM WAS POPULARIZED IN 1966 TO BEST DESCRIBE THE MOTIF, WHICH WAS DIRECTLY DESCENDED FROM THE EARLIER FRENCH ART NORVEAU. THE ART DECO ELEMENTS BECAME SO COMMON ON THE BUILDINGS THAT THEY BEGAN TO TAKE ON THE HIGH NUMBER OF DETAILS THAT WERE FOUND ON THE EARLIER BEAUX ARTS DESIGNS. AS THE GREAT DEPRESSION PROGRESSED, THE ART DECO STYLE BEGAN TO LOSE ITS POPULARITY, PARTLY DUE TO THE COST OF PRODUCING THE OPULENT DESIGNS. IT WAS SUPPLANTED BY THE LESS DETAILED STREAMLINE MODERNE, THAT INCORPORATES THE FLUID LINE OF ART DECO WITHOUT THE ORNATE DETAILING. THE WILSHIRE PROFESSIONAL BUILDING ALSO DISPLAYS ZIGZAG MODERNE ELEMENTS IN ITS BANDING AND LINES, UTILIZING THROUGH GEOMETRIC DESIGN, IN THIS CASE, THE TRIANGULATION OF THE UPPER AND LOWER BANDS THAT IS FOUND IN THAT STYLE, THE NAME OF WHICH WAS COINED BY OCCIDENTAL COLLEGE ARCHITECTURAL HISTORIAN ROBERT W. WINTER, WHILE SERVING ON THE LOS ANGELES CULTURAL HERITAGE COMMISSION. THE BUILDING WAS CONSTRUCTED FOR DEVELOPER PRESTON S. WRIGHT AND ASSOCIATES BY THE CONSTRUCTION FIRM OF LUTHER T. MAYO, INCORPORATED. ARTHUR HARVEY DID SEVERAL MAJOR DESIGNS FOR THE MAYO COMPANY DURING THIS PERIOD. PRESTON WRIGHT WAS ALSO AN ARCHITECT, WHO SPECIALIZED IN DESIGNING UPSCALE HOMES. HE HAD INVESTED IN A NUMBER OF LOTS IN NEARBY WINDSOR SQUARE, DESIGNING AND BUILDING HIGH END SPECULATIVE HOUSING. THIS WAS NOT HIS COMPANY'S FIRST MAJOR COMMERCIAL PROJECT AND THEY APPARENTLY HAD CONTRACTED WITH THE MAYO COMPANY DUE TO THEIR EXPERIENCE IN CONSTRUCTING THE LARGER BUILDINGS. MAYO WORKED WITH HARVEY AS THEIR CERTIFIED ARCHITECT AND UTILIZED HIS OFFICE FOR THE DESIGN. THE BUILDING WAS A MAJOR COMPONENT AS THE COMMERCIAL DEVELOPMENT OF WILSHIRE BOULEVARD RAPIDLY MOVED TO THE WEST. INTERESTINGLY, THE MAYO USING HARVEY HAD RECENTLY COMPLETED ANOTHER JOB FOR WRIGHT ON THE OTHER END OF WILSHIRE BOULEVARD, THE SANTA MONICA PROFESSIONAL BUILDING (SANTA MONICA LANDMARK NO. 66). THE WRIGHT CO.

CITY OF LOS ANGELES

SIGNIFICANCE WORK SHEET

CONTINUED

SOLD THE BUILDING TO JOHN J. PARCONS IN 1939 AND IT WAS COLD TO ERLE P. HALIBURTON IN THE MID 1940S. THE HALIBURTON FAMILY WAS TO OWN THE BUILDING UNTIL1969, WHEN IT WAS TRANSFERRED TO WINSTON P. MILLET, WHO SET UP THE 3875 WILSHIRE COMPANY THE FOLLOWING YEAR. THE BUILDING WAS TRANSFERRED TO THE CURRENT OWNERSHIP IN 2001. ONE INTEREST IN NOTE WERE TWO PERMITS IN 1947 AND 1949 THAT LISTED WRIGHT AS THE OWNER AND HARVEY AS THE ARCHITECT, EVEN THOUGH NEITHER HAD BEEN INVOLVED WITH THE BUILDING FOR YEARS. SEVERAL CHANGES MADE DURING THE HALIBURTON PERIOD NOTED THE ARCHITECT JOHN REX. A RESTAURANT WAS INSTALLED IN THE CORNER STOREFRONT IN 1954 WITH REX TEAMED UP WITH HIS NEW PARTNER, DOUGLAS HONNOLD. THE WILSHIRE PROFESSIONAL BUILDING REMAINS ONE OF THE MOST ICONIC IDENTIFIABLE TOWERS DATING FROM THE GOLDEN AGE OF DEVELOPMENT ALONG THE MOST FAMOUS COMMERCIAL CORRIDOR IN LOS ANGELES. IT RETAINS ITS DESIGN WITH ONLY MINOR/REVERSIBLE ALTERATIONS AND STANDS AS AN IMPORTANT WORK BY ARTHUR E. HARVEY, WHOSE DESIGNS HELPED TO TRANSFORM THE LOS ANGELES SKYLINE. IT IS ALSO AN IMPORTANT BUILDING REPRESENTING THE EARLY HIGH-RISE DEVELOPMENT OF SUBURBAN LOS ANGELES OUTSIDE THE DOWNTOWN CORE.

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CHC-2014-3202-HCM
Declaration Letter Mailing List
MAILING DATE: 02/17/2015

GIS/Fae Tsukamoto
City Hall, Room 825
Mail Stop 395

Council District 10
City Hall, Room 430
Mail Stop 217

3875 Wilshire Company
3875 Wilshire Boulevard
Los Angeles, Ca 90010

Jamison 3875 Wilshire LLC
c/o Thomson Reuters, Inc.
PO Box 847
Carlsbad, Ca 92018

Art Deco Society Los Angeles
Charles Fisher
140 S. Avenue 57
Highland Park, Ca 90042

Jeff Bissiri
12460 Weddington Street, #4
Valley Village, Ca 91607

ITEM 11

Los Angeles Department of City Planning
RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2014-3202-HCM
ENV-2014-3203-CE

HEARING DATE: February 5, 2015
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 N. Spring Street
Los Angeles, CA
90012

Location: 3875 Wilshire Boulevard
Council District: 10
Community Plan Area: Wilshire
Area Planning Commission: Central
Neighborhood Council: Wilshire Center - Koreatown
Legal Description: WESTMINSTER PLACE, Block G, Lots 14, 15, 16

PROJECT: Historic-Cultural Monument Application for the WILSHIRE PROFESSIONAL BUILDING

REQUEST: Declare the property a Historic-Cultural Monument

OWNER(S):

3875 Wilshire Company
3875 Wilshire Boulevard
Los Angeles, CA 90010

Jamison 3875 Wilshire LLC.
c/o Thomson Reuters, Inc.
PO Box 847
Carlsbad, CA 92018

APPLICANT:

Art Deco Society of Los Angeles
Charles Fisher
140 S. Avenue 57
Highland Park, CA 90042

RECOMMENDATION **That the Cultural Heritage Commission:**

1. **Declare the subject property** a Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.7.

2. **Adopt** the staff report and findings.

MICHAEL J. LOGRANDE
Director of Planning

Ken Bernstein, AICP, Manager
Office of Historic Resources

Lambert M. Giessinger, Preservation Architect
Office of Historic Resources

Nels Youngborg, Preservation Planner
Office of Historic Resources

Attachments: Historic-Cultural Monument Application

FINDINGS

- The property embodies "the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction" as an example of the Art Deco style.

CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic structures or sites in which the broad cultural, economic, or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer or architect whose individual genius influenced his age.

SUMMARY

The 13-story Wilshire Professional Building was constructed in 1929 and exhibits character-defining features of the Art Deco, Zigzag Moderne style. The building has a regular, rectangular plan and is faced primarily with molded concrete, cast iron, and steel-framed windows. It is massed in three tiers: a one-story base extending over the parcel, a six-story, rectangular massing in the center, and a six-story, square tower on the top. It is articulated to appear as a central square tower rising from the base, flanked by two shoulders of smaller, shorter towers. Bands of steel awning windows and decorative panels, crossed by unbroken columns of thick concrete, define the bulk of the façade. The ground floor's original face is covered in stucco cladding and contemporary signage and awnings. The second floor, set back from the ground floor, features pairs of steel awning windows stacked upon each other between elaborate concrete pillars molded in a stylized floral motif. Running above both is a large, projecting concrete band with curving ridges and carved floral patterns on its face. Above the second floor, bands of steel awning windows run horizontally across the building. Above those are bands of decorative metal panels, cast in elaborate floral patterns. Thick, plain concrete columns, scored to resemble stone blocks, extend unbroken and divide the building vertically. The roof-line of the shoulders and the central tower are elaborately decorated with capital and pediment structures echoing forms found elsewhere on the building. The central tower is topped by a penthouse. Multiple angular, flying buttresses surround it and separate divided steel windows set in plain, segmented arches. The buttresses support a cornice below a sloping, concrete band upon which the pyramidal roof sits. Concrete flowers and a beacon atop a floral base adorn the roof.

The subject building was designed by prominent local architect Arthur E. Harvey who designed the Chateau Elysee (HCM #329), the Crocker Bank Building (HCM #298), Villa Carlotta (HCM #315), the Hollywood Woman's Club (HCM #604), and the American Storage Company Building (1928).

There are noticeable alterations to the first floor and the main entrance, and structures on top of the east shoulder of unknown date and configuration.

DISCUSSION

Wilshire Professional Building successfully meets one of the specified Historic-Cultural Monument criteria: 1) embodies "the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction." The subject property demonstrates an array of high quality details, including the terrazzo sidewalk, that make it an architectural specimen inherently valuable for the study of Art Deco style in Los Angeles.

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State of California CEQA Guidelines, Article 19, Section 15308, Class 8 "*consists of actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.*"

State of California CEQA Guidelines Article 19, Section 15331, Class 31 "*consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic buildings.*"

The designation of Wilshire Professional Building as a Historic-Cultural Monument in accordance with Chapter 9, Article 1, of The City of Los Angeles Administrative Code ("LAAC") will ensure that future construction activities involving the subject property are regulated in accordance with Section 22.171.14 of the LAAC. The purpose of the designation is to prevent significant impacts to a Historic-Cultural Monument through the application of the standards set forth in the LAAC. Without the regulation imposed by way of the pending designation, the historic significance and integrity of the subject property could be lost through incompatible alterations and new construction and the demolition of irreplaceable historic structures. The Secretary of the Interior's Standards of Rehabilitation are expressly incorporated into the LAAC and provide standards concerning the historically appropriate construction activities which will ensure the continued preservation of the subject property.

The use of Categorical Exemption Class 8 in connection with the proposed designation is consistent with the goals of maintaining, restoring, enhancing, and protecting the environment through the imposition of regulations designed to prevent the degradation of Historic-Cultural Monuments.

The use of Categorical Exemption Class 31 in connection with the proposed designation is consistent with the goals relating to the preservation, rehabilitation, restoration and reconstruction of historic buildings in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving Rehabilitating, Restoring, and Reconstructing Historic Buildings.

BACKGROUND

On December 4th, 2014 the Cultural Heritage Commission took the property under consideration with a Commission-Initiated Motion. On January 15th, a subcommittee of the Commission

consisting of Commissioners Barron and Irvine toured the property accompanied by a staff person from the Office of Historic Resources.

HISTORIC-CULTURAL MONUMENT APPLICATION

TYPE OR PRINT IN ALL CAPITAL BLOCK LETTERS

IDENTIFICATION

1. NAME OF PROPOSED MONUMENT WILSHIRE PROFESSIONAL BUILDING

2. STREET ADDRESS 3875 WILSHIRE BOULEVARD

   CITY LOS ANGELES ZIP CODE 90010 COUNCIL DISTRICT 10

3. ASSESSOR'S PARCEL NO. 5503-032-011

4. COMPLETE LEGAL DESCRIPTION: TRACT WESTMINSTER PLACE, AS PER MAP IN BOOK 9, PAGES 61 OF MAPS FILED, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER.

   BLOCK N/A LOT(S) 14, 15 AND 16 ARB. NO. N/A

5. RANGE OF ADDRESSES 3869 THRU 3881 WILSHIRE BOULEVARD AND 631 THRU 651 S. ST ANDREWS PLACE

6. PRESENT OWNER JAMISON 3875 WILSHIRE LLC, C/O THOMSON REUTERS, INCORPORATED

   STREET ADDRESS P. O. BOX 847

   CITY CARLSBAD STATE CA ZIP CODE 92018 PHONE (213) 382-5124 EMAIL:

   OWNER IS: PRIVATE X PUBLIC

7. PRESENT USE OFFICE BUILDING ORIGINAL USE OFFICE BUILDING

DESCRIPTION

8. ARCHITECTURAL STYLE ART DECO

9. STATE PRESENT PHYSICAL DESCRIPTION OF THE SITE OR STRUCTURE (SEE OPTIONAL DESCRIPTION WORKSHEET)

   (SEE DESCRIPTION WORKSHEET)

HISTORIC-CULTURAL MONUMENT APPLICATION

NAME OF PROPOSED MONUMENT WILSHIRE PROFESSIONAL BUILDING

10. CONSTRUCTION DATE: FACTUAL 1929 ESTIMATED

11. ARCHITECT , DESIGNER, OR ENGINEER: ARTHUR E. HARVEY

12. CONTRACTOR OR OTHER BUILDER: LUTHER T. MAYO, INC.

13. DATES OF ENCLOSED PHOTOGRAPHS c 1930, APRIL 5, 2007 AND JUNE 21, 2013

14. CONDITION: EXCELLENT ☒ GOOD FAIR DETERIORATED NO LONGER IN EXISTENCE

ALTERATIONS: GROUND FLOOR EXTERIOR COVERED OVER BUT ORIGINAL SURFACE MAY BE UNDERNEATH, ALTERATIONS TO THE MAIN LOBBY INCLUDING EXTENDING IT IN 1952 AND GENERAL CHANGES TO OFFICE SPACE HAVE BEEN MADE OVER THE YEARS. A VERTICAL FLAGPOLE, ONCE AT THE FRONT CENTER OF THE HIGHEST ROOF, HAS BEEN REMOVED. DOORS TO ALL OFFICE SUITES REPLACED IN 2000.

15. THREATS TO SITE ☒ NONE KNOWN PRIVATE DEVELOPMENT VANDALISM PUBLIC WORKS PROJECT

16. IS THE STRUCTURE ☒ ON ITS ORIGINAL SITE MOVED UNKNOWN

17. **SIGNIFICANCE**

BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE; INCLUDE DATES, EVENTS, AND PERSONS ASSOCIATED WITH SITE (SEE OPTIONAL SIGNIFICANCE WORKSHEET) BUILT IN 1929, THIS UNIQUE ART DECO OFFICE BUILDING WAS BUILT FOR PRESTON WRIGHT AND ASSOCIATES AS AN OFFICE BUILDING. DESIGNED BY THE ARCHITECT ARTHUR E. HARVEY, THE BUILDING IS NOTED FOR ITS UNUSUAL DESIGN IN SUCH PUBLICATIONS AS DAVID GEBHARD AND ROBERT W. WINTER'S "ARCHITECTURE IN LOS ANGELES-A COMPLEAT GUIDE". ARTHUR EDWARD HARVEY DESIGNED A NUMBER OF VERY VISIBLE BUILDINGS IN LOS ANGELES, INCLUDING THE CROCKER BAND BUILDING {AKA THE SELIG BUILDING} (HCM 298), THE VILLA CARLOTTA (HCM 315), CHATEAU ELYSEE (HCM 329) AND THE HOLLYWOOD WOMAN'S CLUBHOUSE (HCM 604). THE WILSHIRE PROFESSIONAL BUILDING IS ONE OF THE MOST DISTINGUISHED EXAMPLES OF ART DECO ARCHITECTURE IN SOUTHERN CALIFORNIA AND ONE OF SEVERAL LARGE BUILDINGS THAT WERE DESIGNED BY HARVEY IN CONJUNCTION WITH CONTRACTOR-DEVELOPER LUTHER T. MAYO. THE BUILDING IS ONE OF THE KEYSTONE STRUCTURES BUILT DURING THE GOLDEN AGE ALONG WILSHIRE BOULEVARD AND RETAINS ITS ART DECO/ZIGZAG MODERNE DESIGN IN AN IMPOSING WAY

18. SOURCES (LIST BOOKS, DOCUMENTS, SURVEYS, PERSONAL INTERVIEWS WITH DATES) LOS ANGELES CITY BUILDING PERMITS PER ATTACHED, LA COUNTY ASSESSORS RECORDS, RECORDED DEEDS, CENSUS RECORDS, LOS ANGELES COUNTY SUBDIVISION MAPS, LOS ANGELES TIMES ARTICLES, ARCHITECTURE IN LOS ANGELES-, A COMPLEAT GUIDE, ANGELS WALK, WILSHIRE GUIDE AND THE PCR SERVICES CORP. HISTORIC RESOURCES SURVEY OF THE WILSHIRE CENTER/KOREATOWN RECOVERY CRA PROJECT AREA

DATE FORM PREPARED APRIL 13, 2014 PREPARER'S NAME CHARLES J. FISHER

ORGANIZATION ART DECO SOCIETY OF LOS ANGELES STREET ADDRESS 140 S. AVENUE 57

CITY HIGHLAND PARK STATE CA ZIP CODE 90042 PHONE (323) 256-3593

E-MAIL ADDRESS: ARROYOSECO@HOTMAIL.COM

DESCRIPTION WORK SHEET

TYPE OR PRINT IN ALL CAPITAL BLOCK LETTERS

THE WILSHIRE PROFESSIONAL BUILDING (NAME OF PROPOSED MONUMENT) IS A 13 (NUMBER OF STORIES) STORY,

ART DECO/ZIG ZAG MODERNE (ARCHITECTURAL STYLE (SEE LINE B ABOVE)), RECTANGULAR (PLAN SHAPE (SEE CHART)) PLAN OFFICE BUILDING (STRUCTURE USE (RESIDENCE, ETC))

WITH A CONCRETE (MATERIAL (WOOD SIDING, WOOD SHINGLES, BRICK, STUCCO, ETC) FINISH AND STEEL (MATERIAL (WOOD, METAL, ETC.)) TRIM.

ITS PYRAMIDAL (ROOF SHAPE (SEE CHART)) ROOF IS COVERED WITH WHITE SLATE. (MATERIAL (CLAY TILE, ASPHALT OR WOOD SHINGLES) GLASS AND STEEL (WINDOW MATERIAL),

STEEL TRANSOM OVER FIXED PANE WITH VERTICAL SPLIT LIGHTS (WINDOW TYPE [DOUBLE HUNG (SLIDES UP & DOWN), CASEMENT (OPENS OUT), HORIZONTAL SLIDING, ETC]) ARE PART OF THE DESIGN.

THE ENTRY FEATURES A RECTANGULAR INSET PORCH WITH THE MAIN ENTRY TO THE LEFT (DOOR LOCATION (RECESSED, CENTERED, OFF-CENTER, CORNER, ETC.))

WITH A DOUBLE STEEL FRAMED GLASS COMMERCIAL TYPE (ENTRY DOOR STYLE (SEE CHART)) DOOR. ADDITIONAL CHARACTER DEFINING ELEMENTS

OF THE STRUCTURE ARE A TWO TIERED BUILDING WITH A CENTRAL SQUARE 6-STORY TOWER ABOVE A 7-STORY MAIN
(IDENTIFY **ORIGINAL FEATURES** SUCH AS PORCHES (SEE CHART); BALCONIES; NUMBER AND SHAPE OF DORMERS (SEE CHART);

RECTANGULAR BASE. THE SYMMETRICAL DESIGN INCLUDES VERTICAL BANDED ROWS OF WINDOWS WITH CUSTOM
NUMBER AND LOCATION OF CHIMNEYS; SHUTTERS; SECONDARY FINISH MATERIALS; PARAPETS; METAL TRIM; DECORATIVE TILE OR CAST STONE; ARCHES;

IDENTICAL METAL GRILLES, DEPICTING UNFURLING TALL LEAFED PLANTS AND VARIOUS GEOMETRIC PATTERNS ATOP SQUARE
ORNAMENTAL WOODWORK; SYMMETRY OR ASYMMETRY; CORNICES; FRIEZES; TOWERS OR TURRETS; BAY WINDOWS; HALFTIMBERING; HORIZONTALITY;

CONCRETE RECESSED PANELS BELOW EACH WINDOW ABOVE THE THIRD FLOOR. A DECORATIVE THREE-DIMENSIONAL BAND IS AT
VERTICALITY; FORMALITY OR INFORMALITY; GARDEN WALLS, ETC.

THE BASE OF THE THIRD FLOOR WINDOWS, WHICH AGAIN DISPLAYS A SYMMETRICAL ABSTRACT PLANT DESIGN AS DOES AN
ADDITIONAL DEFINING ELEMENTS

ELABORATE PEDIMENT AT THE MAIN ROOFLINE. A LARGE CENTRAL PENTHOUSE IS SET IN THE CENTER OF THE ROOF, WHICH IS
ADDITIONAL DEFINING ELEMENTS

BRACKETED WITH MULTIPLE SQUARED FLYING BUTTRESSES' THAT FLANK EACH OF THE FOUR SIX LIGHT WINDOWS THAT ARE ON
ADDITIONAL DEFINING ELEMENTS

EACH FACADE OF THE PENTHOUSE. FOUR ADDITIONAL BRACKETS ARE PLACED ANGULARLY AT THE CORNERS OF THE PENTHOUSE.
ADDITIONAL DEFINING ELEMENTS

THESE BUTTRESSES HAVE INVERSE THEN OUTWARD CURVE AS THEY REACH THE BASE OF THE PENTHOUSE ROOF. A DOUBLE ARCH
ADDITIONAL DEFINING ELEMENTS

DESIGN JUST UNDER THE ROUNDED CONCRETE EAVE, ABOVE WHICH ARE FIVE TRIANGULAR PANELS ON EACH FACE, TOPPED BY
ADDITIONAL DEFINING ELEMENTS

CAST CONCRETE FLOWERS AT THE EDGE OF THE WHITE PATTERNED PYRAMIDAL ROOF, WHICH IS TOPPED BY A CIRCULAR BEACON
ADDITIONAL DEFINING ELEMENTS

SET UPON A DECORATIVE DECO-DESIGNED CONCRETE BASE. A PARKING GARAGE, WHICH IS ENTERED AT THE REAR OF
ADDITIONAL DEFINING ELEMENTS

THE BUILDING, ON ST. ANDREWS PLACE, IS LOCATED UNDER THE BUILDING. THE FIRST FLOOR STOREFRONT LEVEL IS
ADDITIONAL DEFINING ELEMENTS

COVERED OVER WITH LATER STONE OR CONCRETE PANELS, BUT MISSING SECTIONS OF THAT PANELING REVEAL VERTI-
ADDITIONAL DEFINING ELEMENTS

CAL LINED FLAT PILASTERS UNDER THE CURRENT FACADE. AN EARLY PHOTO SHOWS A DARK TILE BULKHEAD AT THE
ADDITIONAL DEFINING ELEMENTS

BASE, DECORATIVE GRILLES ABOVE THE WINDOWS AND A TRIANGULAR ROUNDED THEMED BAND ABOVE THE FIRST FLOOR
ADDITIONAL DEFINING ELEMENTS

SECONDARY BUILDINGS CONSIST OF THERE ARE NO SECONDARY BUILDINGS.
(IDENTIFY GARAGE; GARDEN SHELTER, ETC.

SIGNIFICANT INTERIOR SPACES INCLUDE AN ARCHED ELEVATOR LOBBY WITH SQUARE DECO LIGHT FIXTURES
(IDENTIFY **ORIGINAL FEATURES** SUCH AS WOOD PANELING; MOLDINGS AND TRIM, SPECIAL GLASS WINDOWS

CITY OF LOS ANGELES

SIGNIFICANCE WORK SHEET

TYPE OR HAND PRINT IN ALL CAPITAL BLOCK LETTERS

Complete One or Both of the Upper and Lower Portions of This Page

ARCHITECTURAL SIGNIFICANCE

THE WILSHIRE PROFESSIONAL BUILDING IS AN IMPORTANT EXAMPLE OF
NAME OF PROPOSED MONUMENT

ART DECO-ZIG ZAG MODERNE ARCHITECTURE
ARCHITECTURAL STYLE (SEE LINE 8)

AND MEETS THE CULTURAL HERITAGE ORDINANCE BECAUSE OF THE HIGH QUALITY OF ITS DESIGN AND THE RETENTION OF ITS ORIGINAL FORM, DETAILING AND INTEGRITY.

AND/OR

HISTORICAL SIGNIFICANCE

THE WILSHIRE PROFESSIONAL BUILDING WAS BUILT IN 1929
NAME OF PROPOSED MONUMENT YEAR BUILT

ARTHUR HARVEY AND ART DECO ARCHITECTURE WAS IMPORTANT TO THE
NAME OF FIRST OR OTHER SIGNIFICANT OWNER

DEVELOPMENT OF LOS ANGELES BECAUSE THE WILSHIRE PROFESSIONAL BUILDING WAS ONE OF THE MOST SIGNIFICANT BUILDINGS THAT WAS DESIGNED DURING THE DEVELOPMENT OF THE WILSHIRE CENTER AREA, ALONG WILSHIRE BOULEVARD. BUILT CONCURRENTLY WITH, BUT COMPLETED BEFORE, THE NEARBY PELLISSIER BUILDING (HCM 118), IT WAS THE FIRST OF A SERIES OF "HEIGHT LIMIT" SKYSCRAPERS TO BE CONSTRUCTED ON WILSHIRE AT THE END OF THE THOROUGHFARE'S FIRST MAJOR PERIOD OF DEVELOPMENT JUST BEFORE THE ADVENT OF THE GREAT DEPRESSION. THE WEDDING CAKE LIKE MASSING OF THE BUILDING PROVIDES IT WITH ONE OF THE MOST RECOGNIZABLE DESIGNS ALONG THE BOULEVARD. THE ARCHITECT, ARTHUR EDWARD HARVEY, WAS AT THE HEIGHT OF HIS EARLY SOLO CAREER, HAVING PREVIOUSLY DESIGNED SEVERAL LOS ANGELES ICONS, SUCH AS THE CHATEAU ELYSEE (HCM 329), VILLA CARLOTTA (HCM 315) AND THE AMERICAN STORAGE BUILDING ON BEVERLY BOULEVARD. HARVEY HAD RECENTLY LEFT THE FIRM OF MORGAN WALLS AND CLEMENTS, WHERE HE HAD WORKED ON THE DESIGN OF THE ICONIC ATLANTIC RICHFIELD TOWER (DEMOLISHED IN 1969). ALONG WITH THE AMERICAN STORAGE BUILDING, THE WILSHIRE PROFESSIONAL BUILDING HAS NEVER BEEN OFFICIALLY RECOGNIZED LOCALLY. IT IS, HOWEVER, LISTED WITH A POTENTIAL NATIONAL REGISTER ELIGIBILITY (3CS) RATING BY PCR SERVICES CORPORATION IN THE HISTORIC RESOURCES SURVEY FOR THE WILSHIRE/KOREATOWN RECOVERY REDEVELOPMENT PROJECT AREA. THE SURVEY ERRONEOUSLY LISTS IT AS THE "WILSHIRE MEDICAL BUILDING", WHICH ACTUALLY STANDS

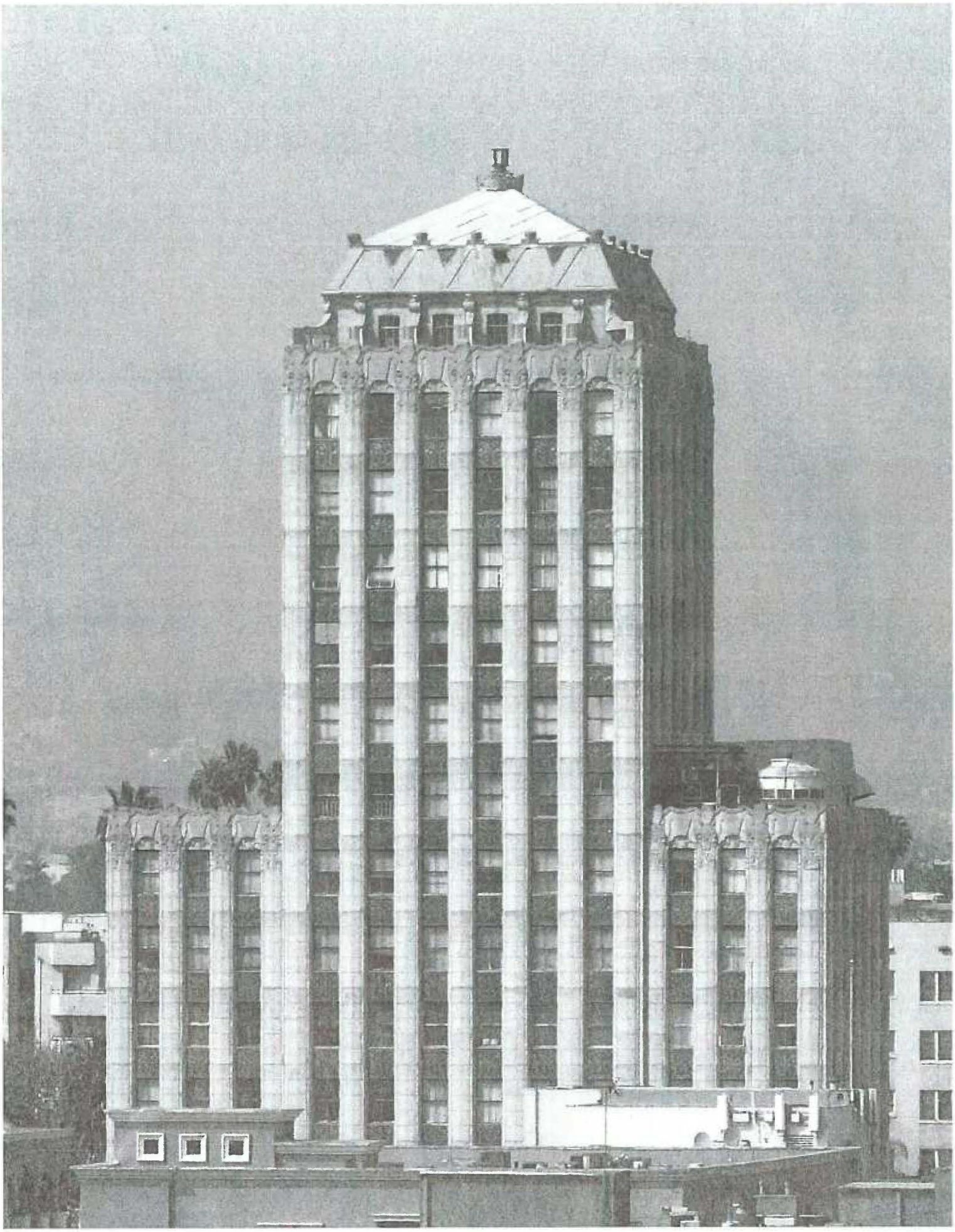
AT 1930 WILSHIRE BOULEVARD. THE SUBJECT BUILDING WAS DESIGNED AS A FACILITY FOR PHYSICIANS AS WELL, BUT REMAINS TO THE PRESENT DAY, AN OFFICE BUILDING NOT ONLY USED BY DOCTORS, DENTIST, CHIROPRACTORS AS WELL AS SEVERAL MEDICAL SCHOOLS, BUT WAS AND IS PRESENTLY ALSO USED BY OTHER PROFESSIONALS SUCH AS LAWYERS AND ARCHITECTS, TRAVEL AGENTS AND ACTING AGENTS. A BIOGRAPHY OF THE ARCHITECT, SHOWING HIS LIFE AND CAREER IN MORE DETAIL, IS ATTACHED TO THIS NOMINATION. THE BUILDING IS A SIGNIFICANT EXAMPLE OF THE ART DECO STYLE WHICH FIRST BEGAN TO APPEAR IN FRANCE AFTER WORLD WAR I, FLOURISHING INTERNATIONALLY IN THE 1920S, 1930S AND 1940S BEFORE ITS POPULARITY WANED AFTER WORLD WAR II. IT IS AN ECLECTIC STYLE THAT COMBINES TRADITIONAL CRAFT MOTIFS WITH MACHINE AGE IMAGERY AND MATERIALS. THE STYLE IS OFTEN CHARACTERIZED BY RICH COLORS, BOLD GEOMETRIC SHAPES, AND LAVISH ORNAMENTATION. THE STYLE IS FOUND THROUGHOUT THE UNITED STATES, MOSTLY IN LARGER CITIES, ESPECIALLY NEW YORK, CHICAGO AND PARTICULARLY IN MIAMI, FLORIDA. THE STYLE WAS FIRST REFERRED TO AS "ART DECO" IN 1925 BY THE ARCHITECT CHARLES-ÉDOUARD JEANNERET-GRIS, BETTER KNOWN AS "LE CORBUSIER", WHO WROTE A SERIES OF ARTICLES FOR HIS JOURNAL "L'ESPRIT NOUVEAU" UNDER THE SECTION "1925 EXPO: ARTS DÉCO". HE WAS REFERRING TO THE 1925 EXPOSITION INTERNATIONALE DES ARTS DÉCORATIFS ET INDUSTRIELS MODERNES (INTERNATIONAL EXPOSITION OF MODERN DECORATIVE AND INDUSTRIAL ARTS), WHICH WAS HELD THAT YEAR. THE TERM WAS POPULARIZED IN 1966 TO BEST DESCRIBE THE MOTIF, WHICH WAS DIRECTLY DESCENDED FROM THE EARLIER FRENCH ART NORVEAU. THE ART DECO ELEMENTS BECAME SO COMMON ON THE BUILDINGS THAT THEY BEGAN TO TAKE ON THE HIGH NUMBER OF DETAILS THAT WERE FOUND ON THE EARLIER BEAUX ARTS DESIGNS. AS THE GREAT DEPRESSION PROGRESSED, THE ART DECO STYLE BEGAN TO LOSE ITS POPULARITY, PARTLY DUE TO THE COST OF PRODUCING THE OPULENT DESIGNS. IT WAS SUPPLANTED BY THE LESS DETAILED STREAMLINE MODERNE, THAT INCORPORATES THE FLUID LINE OF ART DECO WITHOUT THE ORNATE DETAILING. THE WILSHIRE PROFESSIONAL BUILDING ALSO DISPLAYS ZIGZAG MODERNE ELEMENTS IN ITS BANDING AND LINES, UTILIZING THROUGH GEOMETRIC DESIGN, IN THIS CASE, THE TRIANGULATION OF THE UPPER AND LOWER BANDS THAT IS FOUND IN THAT STYLE, THE NAME OF WHICH WAS COINED BY OCCIDENTAL COLLEGE ARCHITECTURAL HISTORIAN ROBERT W. WINTER, WHILE SERVING ON THE LOS ANGELES CULTURAL HERITAGE COMMISSION. THE BUILDING WAS CONSTRUCTED FOR DEVELOPER PRESTON S. WRIGHT AND ASSOCIATES BY THE CONSTRUCTION FIRM OF LUTHER T. MAYO, INCORPORATED. ARTHUR HARVEY DID SEVERAL MAJOR DESIGNS FOR THE MAYO COMPANY DURING THIS PERIOD. PRESTON WRIGHT WAS ALSO AN ARCHITECT, WHO SPECIALIZED IN DESIGNING UPSCALE HOMES. HE HAD INVESTED IN A NUMBER OF LOTS IN NEARBY WINDSOR SQUARE, DESIGNING AND BUILDING HIGH END SPECULATIVE HOUSING. THIS WAS NOT HIS COMPANY'S FIRST MAJOR COMMERCIAL PROJECT AND THEY APPARENTLY HAD CONTRACTED WITH THE MAYO COMPANY DUE TO THEIR EXPERIENCE IN CONSTRUCTING THE LARGER BUILDINGS. MAYO WORKED WITH HARVEY AS THEIR CERTIFIED ARCHITECT AND UTILIZED HIS OFFICE FOR THE DESIGN. THE BUILDING WAS A MAJOR COMPONENT AS THE COMMERCIAL DEVELOPMENT OF WILSHIRE BOULEVARD RAPIDLY MOVED TO THE WEST. INTERESTINGLY, THE MAYO USING HARVEY HAD RECENTLY COMPLETED ANOTHER JOB FOR WRIGHT ON THE OTHER END OF WILSHIRE BOULEVARD, THE SANTA MONICA PROFESSIONAL BUILDING (SANTA MONICA LANDMARK NO. 66). THE WRIGHT CO.

CITY OF LOS ANGELES

SIGNIFICANCE WORK SHEET

CONTINUED

SOLD THE BUILDING TO JOHN J. PARCONS IN 1939 AND IT WAS COLD TO ERLE P. HALIBURTON IN THE MID 1940S. THE HALIBURTON FAMILY WAS TO OWN THE BUILDING UNTIL1969, WHEN IT WAS TRANSFERRED TO WINSTON P. MILLET, WHO SET UP THE 3875 WILSHIRE COMPANY THE FOLLOWING YEAR. THE BUILDING WAS TRANSFERRED TO THE CURRENT OWNERSHIP IN 2001. ONE INTEREST IN NOTE WERE TWO PERMITS IN 1947 AND 1949 THAT LISTED WRIGHT AS THE OWNER AND HARVEY AS THE ARCHITECT, EVEN THOUGH NEITHER HAD BEEN INVOLVED WITH THE BUILDING FOR YEARS. SEVERAL CHANGES MADE DURING THE HALIBURTON PERIOD NOTED THE ARCHITECT JOHN REX. A RESTAURANT WAS INSTALLED IN THE CORNER STOREFRONT IN 1954 WITH REX TEAMED UP WITH HIS NEW PARTNER, DOUGLAS HONNOLD. THE WILSHIRE PROFESSIONAL BUILDING REMAINS ONE OF THE MOST ICONIC IDENTIFIABLE TOWERS DATING FROM THE GOLDEN AGE OF DEVELOPMENT ALONG THE MOST FAMOUS COMMERCIAL CORRIDOR IN LOS ANGELES. IT RETAINS ITS DESIGN WITH ONLY MINOR/REVERSIBLE ALTERATIONS AND STANDS AS AN IMPORTANT WORK BY ARTHUR E. HARVEY, WHOSE DESIGNS HELPED TO TRANSFORM THE LOS ANGELES SKYLINE. IT IS ALSO AN IMPORTANT BUILDING REPRESENTING THE EARLY HIGH-RISE DEVELOPMENT OF SUBURBAN LOS ANGELES OUTSIDE THE DOWNTOWN CORE.



5503 | 32

SCALE 1" = 80'

1996

680311
740312304

CODE
6657

FOR PREV. ASSM'T. SEE: 217-6

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

City of Los Angeles
Department of City Planning

6/16/2014
PARCEL PROFILE REPORT

PROPERTY ADDRESSES

634 S ST ANDREWS PL

ZIP CODES

90010

RECENT ACTIVITY

ENV-2010-76
ENV-2008-3387
ENV-2010-74
Adaptive Reuse Incentive Spec. Pln-Ord 175038
ENV-2009-2117
ENV-2007-3064
ZA-2005-983-CUB-PA1

CASE NUMBERS

CPC-4931
CPC-1986-834-GPC
ORD-64205
ORD-63482
ORD-46870
ORD-165302-SA100B
ORD-102319
ZA-9229
ZA-2012-705-ZAA-SPR
ZA-2012-1796-CUB-CU
ZA-2010-75-CUB
ZA-2010-73-CUB
ZA-2009-2116-CUB
ZA-2005-983-CUB
ZA-2001-105-CUB
ZA-1994-173-CUX
ZA-11561
ENV-2012-706-MND
ENV-2012-1797-MND
ENV-2010-76-CE
ENV-2010-74-CE
ENV-2009-2117-CE
ENV-2005-984-CE
ENV-2001-106-CE
MND-94-79-CUX

Address/Legal Information	
PIN Number	135B193 990
Lot/Parcel Area (Calculated)	11,260.2 (sq ft)
Thomas Brothers Grid	PAGE 633 - GRID H2
Assessor Parcel No. (APN)	5503032011
Tract	WESTMINSTER PLACE
Map Reference	M B 9-61
Block	BLK G
Lot	14
Arb (Lot Cut Reference)	None
Map Sheet	135B193
Jurisdictional Information	
Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Wilshire Center - Koreatown
Council District	CD 10 - Herb J. Wesson, Jr.
Census Tract #	2117.04
LADBS District Office	Los Angeles Metro
Planning and Zoning Information	
Special Notes	None
Zoning	R5P-2
Zoning Information (ZI)	ZI-1940 Wilshire Center / Koreatown Redevelopment Project
	ZI-2410 Metro Westside Subway Extension Project
	ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	Regional Center Commercial
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
CRA - Community Redevelopment Agency	Wilshire Center / Koreatown Redevelopment Project
Central City Parking	No
Downtown Parking	No
Building Line	5

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5503032011
APN Area (Co. Public Works)*	0.773 (ac)
Use Code	1900 - Professional Building
Assessed Land Val.	$2,234,283
Assessed Improvement Val.	$2,593,408
Last Owner Change	10/01/01
Last Sale Amount	$4,592,045
Tax Rate Area	6657
Deed Ref No. (City Clerk)	9-49
	3-256
Building 1	
Year Built	1934
Building Class	CX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	65,122.0 (sq ft)
Building 2	
Year Built	1936
Building Class	SX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	24.0 (sq ft)
Building 3	
Year Built	0
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	12,825.0 (sq ft)
Building 4	No data for building 4
Building 5	No data for building 5
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	1.21064097546205
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts
Fault Type	B

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Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Tsunami Inundation Zone	No
Economic Development Areas	
Business Improvement District	WILSHIRE CENTER
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
State Enterprise Zone Adjacency	No
Targeted Neighborhood Initiative	None
Public Safety	
Police Information	
Bureau	West
Division / Station	Olympic
Reporting District	2022
Fire Information	
Division	1
Batallion	11
District / Fire Station	29
Red Flag Restricted Parking	No

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City of Los Angeles
Department of City Planning

6/16/2014
PARCEL PROFILE REPORT

PROPERTY ADDRESSES

640 S ST ANDREWS PL

ZIP CODES

90010

RECENT ACTIVITY

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CASE NUMBERS

CPC-1986-834-GPC
ORD-63482
ORD-46870
ORD-165302-SA100B
ZA-3149
ZA-2012-705-ZAA-SPR
ZA-2012-1796-CUB-CU
ZA-2010-75-CUB
ZA-2010-73-CUB
ZA-2009-2116-CUB
ZA-2005-983-CUB
ZA-2001-105-CUB
ZA-1994-173-CUX
ENV-2012-706-MND
ENV-2012-1797-MND
ENV-2010-76-CE
ENV-2010-74-CE
ENV-2009-2117-CE
ENV-2005-984-CE
ENV-2001-987-CE
ENV-2001-106-CE
MND-94-79-CUX

Address/Legal Information	
PIN Number	135B193 1013
Lot/Parcel Area (Calculated)	11,265.7 (sq ft)
Thomas Brothers Grid	PAGE 633 - GRID H2
Assessor Parcel No. (APN)	5503032011
Tract	WESTMINSTER PLACE
Map Reference	M B 9-61
Block	BLK G
Lot	15
Arb (Lot Cut Reference)	None
Map Sheet	132B193
	135B193
Jurisdictional Information	
Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Wilshire Center - Koreatown
Council District	CD 10 - Herb J. Wesson, Jr.
Census Tract #	2117.04
LADBS District Office	Los Angeles Metro
Planning and Zoning Information	
Special Notes	None
Zoning	C4-2
Zoning Information (ZI)	ZI-1940 Wilshire Center / Koreatown Redevelopment Project
	ZI-2410 Metro Westside Subway Extension Project
	ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	Regional Center Commercial
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
CRA - Community Redevelopment Agency	Wilshire Center / Koreatown Redevelopment Project
Central City Parking	No
Downtown Parking	No

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5503032011
APN Area (Co. Public Works)*	0.773 (ac)
Use Code	1900 - Professional Building
Assessed Land Val.	$2,234,283
Assessed Improvement Val.	$2,593,408
Last Owner Change	10/01/01
Last Sale Amount	$4,592,045
Tax Rate Area	6657
Deed Ref No. (City Clerk)	9-49
	3-256
Building 1	
Year Built	1934
Building Class	CX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	65,122.0 (sq ft)
Building 2	
Year Built	1936
Building Class	SX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	24.0 (sq ft)
Building 3	
Year Built	0
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	12,825.0 (sq ft)
Building 4	No data for building 4
Building 5	No data for building 5
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	Yes
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	1.19616317106927
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts

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CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-1986-834-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONING CONSISTENCY - WILSHIRE, WESTLAKE, SHERMAN OAKS, STUDIO STUDIO, TOLUCA LAKE
Case Number:	ZA-2012-705-ZAA-SPR
Required Action(s):	SPR-SITE PLAN REVIEW ZAA-AREA,HEIGHT,YARD,AND BLDG LINE ADJMNTS GT 20% (SLIGHT MODIFICATIONS)
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ZA-2012-1796-CUB-CU
Required Action(s):	CU-CONDITIONAL USE CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ZA-2010-75-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2010-73-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2009-2116-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ZA-2005-983-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ZA-2001-105-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.
Case Number:	ZA-1994-173-CUX
Required Action(s):	CUX-ADULT ENTERTAINMENTS
Project Descriptions(s):	CONDITIONAL USE PERMIT TO ADD PATRON DANCING TO AN EXISTING 3,650 SQ. FT. RESTAURANT SERVING ON-SITE ALCOHOL BEVERAGES WITH HOURS OF OPERATION FROM 7 A.M. TO 2 A.M., SEVEN DAYS PER WEEK WITH 134 PARKING SPACES PROVIDED ON-SITE AFTER 6 P.M.
Case Number:	ENV-2012-706-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ENV-2012-1797-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ENV-2010-76-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.

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Case Number:	ENV-2010-74-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ENV-2009-2117-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ENV-2005-984-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ENV-2001-106-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.
Case Number:	MND-94-79-CUX
Required Action(s):	CUX-ADULT ENTERTAINMENTS
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

CPC-4931

ORD-64205

ORD-63482

ORD-46870

ORD-165302-SA100B

ORD-102319

ZA-9229

ZA-11561

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Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Tsunami Inundation Zone	No
Economic Development Areas	
Business Improvement District	WILSHIRE CENTER
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
State Enterprise Zone Adjacency	No
Targeted Neighborhood Initiative	None
Public Safety	
Police Information	
Bureau	West
Division / Station	Olympic
Reporting District	2022
Fire Information	
Division	1
Batallion	11
District / Fire Station	29
Red Flag Restricted Parking	No

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CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-1986-834-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONING CONSISTENCY - WILSHIRE, WESTLAKE, SHERMAN OAKS, STUDIO STUDIO, TOLUCA LAKE
Case Number:	ZA-2012-705-ZAA-SPR
Required Action(s):	SPR-SITE PLAN REVIEW ZAA-AREA,HEIGHT,YARD,AND BLDG LINE ADJMNTS GT 20% (SLIGHT MODIFICATIONS)
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ZA-2012-1796-CUB-CU
Required Action(s):	CU-CONDITIONAL USE CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ZA-2010-75-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2010-73-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2009-2116-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ZA-2005-983-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ZA-2001-105-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.
Case Number:	ZA-1994-173-CUX
Required Action(s):	CUX-ADULT ENTERTAINMENTS
Project Descriptions(s):	CONDITIONAL USE PERMIT TO ADD PATRON DANCING TO AN EXISTING 3,650 SQ. FT. RESTAURANT SERVING ON-SITE ALCOHOL BEVERAGES WITH HOURS OF OPERATION FROM 7 A.M. TO 2 A.M., SEVEN DAYS PER WEEK WITH 134 PARKING SPACES PROVIDED ON-SITE AFTER 6 P.M.
Case Number:	ENV-2012-706-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ENV-2012-1797-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ENV-2010-76-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.

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Case Number:	ENV-2010-74-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ENV-2009-2117-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ENV-2005-984-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ENV-2001-987-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ZONE VARIANCE TO PERMIT A COMMERCIAL USE AND COMMERCIAL CORNERDEVELOPMENT ON LAND ZONED R3P-1 AND CONDITIONAL USE TO PERMIT THE SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR OFF-SITE CONSUMPTION FOR A SUPERMARKET IN THE C2-1 AND R3P-1ZONES.
Case Number:	ENV-2001-106-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.
Case Number:	MND-94-79-CUX
Required Action(s):	CUX-ADULT ENTERTAINMENTS
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

ORD-63482

ORD-46870

ORD-165302-SA100B

ZA-3149

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City of Los Angeles
Department of City Planning

6/16/2014
PARCEL PROFILE REPORT

PROPERTY ADDRESSES

3879 W WILSHIRE BLVD
3873 W WILSHIRE BLVD
3875 W WILSHIRE BLVD
3877 W WILSHIRE BLVD
3871 W WILSHIRE BLVD
3881 W WILSHIRE BLVD
3869 W WILSHIRE BLVD

ZIP CODES

90010

RECENT ACTIVITY

ENV-2005-984
ENV-2008-3387
Adaptive Reuse Incentive Spec. Pln-Ord 175038
ENV-2010-76
ENV-2009-2117
ENV-2007-3064
ENV-2010-74
ENV-2008-2277
ENV-2008-2277

CASE NUMBERS

CPC-1986-834-GPC
ORD-63482
ORD-59577
ORD-46870
ORD-165302-SA100B
ORD-129944
ZA-2012-705-ZAA-SPR
ZA-2012-1796-CUB-CU
ZA-2010-75-CUB
ZA-2010-73-CUB
ZA-2009-2116-CUB
ZA-2005-983-CUB
ZA-2001-105-CUB
ZA-1994-173-CUX
ENV-2012-706-MND
ENV-2012-1797-MND
ENV-2010-76-CE
ENV-2010-74-CE
ENV-2009-2117-CE
ENV-2005-984-CE
ENV-2001-987-CE
ENV-2001-106-CE
AF-90-2051018-PA

Address/Legal Information	
PIN Number	132B193 34
Lot/Parcel Area (Calculated)	11,202.2 (sq ft)
Thomas Brothers Grid	PAGE 633 - GRID H2
Assessor Parcel No. (APN)	5503032011
Tract	WESTMINSTER PLACE
Map Reference	M B 9-61
Block	BLK G
Lot	16
Arb (Lot Cut Reference)	None
Map Sheet	132B193
Jurisdictional Information	
Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Wilshire Center - Koreatown
Council District	CD 10 - Herb J. Wesson, Jr.
Census Tract #	2117.04
LADBS District Office	Los Angeles Metro
Planning and Zoning Information	
Special Notes	None
Zoning	C4-2
Zoning Information (ZI)	ZI-1940 Wilshire Center / Koreatown Redevelopment Project
	ZI-1117 MTA Project
	ZI-2410 Metro Westside Subway Extension Project
	ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
General Plan Land Use	Regional Center Commercial
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	Adaptive Reuse Incentive Areas
CRA - Community Redevelopment Agency	Wilshire Center / Koreatown Redevelopment Project
Central City Parking	No
Downtown Parking	No

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Building Line	5
500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5503032011
APN Area (Co. Public Works)*	0.773 (ac)
Use Code	1900 - Professional Building
Assessed Land Val.	$2,234,283
Assessed Improvement Val.	$2,593,408
Last Owner Change	10/01/01
Last Sale Amount	$4,592,045
Tax Rate Area	6657
Deed Ref No. (City Clerk)	9-49
	3-256
Building 1	
Year Built	1934
Building Class	CX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	65,122.0 (sq ft)
Building 2	
Year Built	1936
Building Class	SX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	24.0 (sq ft)
Building 3	
Year Built	0
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	12,825.0 (sq ft)
Building 4	No data for building 4
Building 5	No data for building 5
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	Yes
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	1.18168895164987
Nearest Fault (Name)	Puente Hills Blind Thrust
Region	Los Angeles Blind Thrusts

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Fault Type	B
Slip Rate (mm/year)	0.70000000
Slip Geometry	Reverse
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	19.00000000
Rupture Top	5.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	25.00000000
Maximum Magnitude	7.10000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Tsunami Inundation Zone	No
Economic Development Areas	
Business Improvement District	WILSHIRE CENTER
Renewal Community	No
Revitalization Zone	Central City
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
State Enterprise Zone Adjacency	No
Targeted Neighborhood Initiative	None
Public Safety	
Police Information	
Bureau	West
Division / Station	Olympic
Reporting District	2022
Fire Information	
Division	1
Batallion	11
District / Fire Station	29
Red Flag Restricted Parking	No

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-1986-834-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	GENERAL PLAN/ZONING CONSISTENCY - WILSHIRE, WESTLAKE, SHERMAN OAKS, STUDIO STUDIO, TOLUCA LAKE
Case Number:	ZA-2012-705-ZAA-SPR
Required Action(s):	SPR-SITE PLAN REVIEW ZAA-AREA,HEIGHT,YARD,AND BLDG LINE ADJMNTS GT 20% (SLIGHT MODIFICATIONS)
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ZA-2012-1796-CUB-CU
Required Action(s):	CU-CONDITIONAL USE CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ZA-2010-75-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2010-73-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ZA-2009-2116-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ZA-2005-983-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ZA-2001-105-CUB
Required Action(s):	CUB-Conditional Use Beverage-Alcohol
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.
Case Number:	ZA-1994-173-CUX
Required Action(s):	CUX-ADULT ENTERTAINMENTS
Project Descriptions(s):	CONDITIONAL USE PERMIT TO ADD PATRON DANCING TO AN EXISTING 3,650 SQ. FT. RESTAURANT SERVING ON-SITE ALCOHOL BEVERAGES WITH HOURS OF OPERATION FROM 7 A:M. TO 2 A.M., SEVEN DAYS PER WEEK WITH 134 PARKING SPACES PROVIDED ON-SITE AFTER 6 P.M.
Case Number:	ENV-2012-706-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	PURSUANT TO SECTION 12.28, A ZAA TO ALLOW A REDUCTION IN SEOPARATION BETWEEN BUILDINGS OF 10 FT IN LIEU OF 18 FT IN CONJUNCTION WITH THE CONSTRUCTION OF A 6-STORY, 84-UNIT APARTMENT BUILDING; AND PURSUANT TO SECTION 16.05, SITE PLAN REVIEW FOR THE DEVELOPMENT OF SAID BUILDING IN THE R5P-2 ZONE.
Case Number:	ENV-2012-1797-MND
Required Action(s):	MND-MITIGATED NEGATIVE DECLARATION
Project Descriptions(s):	CONDITIONAL USE TO PERMIT THE CONTINUED SALE OF A FULL LINE OF ALCOHOL IN CONJUNCTION WITH AN EXISTING 2,326.2 SQUARE FOOT / 80-SEAT RESTAURANT WITH PROPOSED KARAOKE FOR ENTERTAINMENT AT THE MEZZANINE LEVEL; CONDITIONAL USE FOR DEVIATION FROM COMMERCIAL CORNER / MINI-SHOPPING CENTER REQUIREMENTS TO PERMIT HOURS OF OPERATION FROM 11 A.M. TO 2 A.M.. THE SUBJECT SITE IS 41,250 SQUARE FOOT AND ZONED C4-2 .
Case Number:	ENV-2010-76-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PURSUANT TO SECTION 12.24W1 OF THE LAMC, A CONDITIONAL USE FOR THE SALE OF ON-SITE BEER AND WINE IN AN EXISTING RESTAURANT WITH 140 PATRONS, HOURS OF OPERATION FROM 10AM TO 2AM DAILY.

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Case Number:	ENV-2010-74-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR BEER AND WINE IN CONJUNCTION WITH AN EXISTING RESTAURANT 106 OPERATING FROM 10AM TO 2AM DAILY.
Case Number:	ENV-2009-2117-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	CONDITIONAL USE FOR CONTINUED USE OF SERVICE OF FULL LINE ALCOHOL FOR AN EXISTING RESTAURANT SEATING 60 OPERATING FROM 11AM O2AM DAILY AND RELIEF FROM CORNER COMMERICAL REQUIREMENT TO OPERAT PAST 11PM.
Case Number:	ENV-2005-984-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW A 1910-SQUARE-FOOT EXPANSION OF AN EXISTING RESTAURANT WITH CORRESPONDING EXPANSION OF EXISTING BEER AND WINE SERVICE TO THE EXPANSION AREA. ALCOHOL SERVICE FOR EXISTING RESTAURANT WAS AUTHORIZED UNDER CASE NO. ZA-2000-2210-CUB.
Case Number:	ENV-2001-987-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ZONE VARIANCE TO PERMIT A COMMERCIAL USE AND COMMERCIAL CORNERDEVELOPMENT ON LAND ZONED R3P-1 AND CONDITIONAL USE TO PERMIT THE SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR OFF-SITE CONSUMPTION FOR A SUPERMARKET IN THE C2-1 AND R3P-1ZONES.
Case Number:	ENV-2001-106-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	REQUEST FOR A 2,450 SQ. FT. EXPANSION TO AN EXISTING 3,453 SQ. FT. GROUND FLOOR WITH MEZZANINE RESTAURANT WITH THE CONTINUED SALE AND DISPENSING OF A FULL LINE OF ALCOHOLIC BEVERAGES FOR ON-SITE CONSUMPTION.

DATA NOT AVAILABLE

ORD-63482

ORD-59577

ORD-46870

ORD-165302-SA100B

ORD-129944

AF-90-2051018-PA

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Arthur E. Harvey, Architect
(1884-1971)

By Charles J. Fisher

Arthur Edward Harvey was the middle son in a family of seven, born in Boston Massachusetts on February 12, 1884. His English-born Parents, Theodor James and Martha (Tisdale) had immigrated to the United States in 1878 and Arthur was the first of their children to be American born.

His father was a bicycle maker and his older brother, William, joined him in that business. Arthur, however, seems to have taken an early interest in architecture, being listed as an "architect" in the 1900 census at the age of 16. He went on to marry Nellie (also known as Ellen) W. Glines in 1906 and the couple relocated to Seattle, Washington, where Arthur worked as a draftsman in an architect's office while getting his degree in architecture and engineering. He was briefly in partnership with Eugene Edwin Ziegler in 1915. During World War I he was working as a structural engineer for the Seattle Port Commission.

By 1920, the Harveys were living in Detroit, Michigan, where he was working as an architect for a larger firm. They also now had a son, Arthur Ellsworth Harvey, born on February 10, 1918.

The Harveys relocated to Los Angeles at the end of 1920, when Arthur went to work for developer Frank Meline, as a draftsman. A bit later, he found work as a draftsman for the architectural firm of Morgan, Walls and Morgan. After getting his California architectural license, he left what had become Morgan, Walls and Clements in late 1927, and opened his own architectural office on Hill Street.

One of Harvey's earlier collaborations was with the high-end builder, Luther T. Mayo. One of the first of these projects, the Santa Monica Professional Building. The Art Deco building at 710 Wilshire Boulevard, was listed as Santa Monica City Historic Landmark No. 66 in 2005.

Another early Mayo building was the American Storage Building, which was announced in the Los Angeles Times on January 3, 1928. This highly visible 13-story building was hailed as "the most beautiful storage building in the world" with an Art Deco design that also includes Spanish detailing.

Besides storage space, the building included a dance studio and a high-end restaurant on the top floor. Today the building is still used as it was intended by Public Storage.

The Chateau Elysee, another Mayo project, was also designed in 1927 for Mrs. Thomas Ince, the widow of the pioneer silent movie producer. The apartment building, which is designed to replicate a 17-Century Norman castle, was soon known as the Manor Hotel and was the home of a number of Hollywood celebrities. It was designated Los Angeles Historic Cultural Monument No. 329 and is now the Celebrity Center for the Church of Scientology.

Three other Harvey designed Buildings are also designated by the city, the Selig Building (later a Crocker Bank Building) which is HCM No. 298, was built in 1931. Its black terra cotta and gold Art Deco exterior is very reminiscent of the iconic Atlantic Richfield Building (demolished in 1968) that Harvey may have worked on for Morgan Walls and Clements.

The Villa Carlotta (HCM No. 315) was actually designed while he was still working at Morgan Walls and Clements, in 1926 and the Hollywood Woman's Clubhouse (HCM No. 604), which was built in 1948, both are designed in the Spanish Colonial Revival style.

Perhaps one of Harvey's most distinguished works is the Wilshire Professional Building, another Mayo project, which he designed for Preston Wright in 1929, is one of the best example of Art Deco design in Southern California. This thirteen story building, located a block West of Western Avenue, is grand in both scale and design, including a conical roof and beacon at its top.

The onset of the Great Depression in the early 1930s slowed down commercial development, but residential commission, although not as plentiful as before3, continued to come in, such as the Monterey Style Widner House on Griffith Park Boulevard, in the Los Feliz area.

During the late 1930's, Harvey's home designs were published in the Los Angeles Times, including a 2,600 square foot Monterey Style house in 1939 that was designed to take full advantage of the home's gardens. A 1,200 square foot cottage design by Harvey was profiled in 1940 as an example of

affordable single family housing. A modernist version of Georgian design built for John T. Hotchkiss in Santa Monica was profiled in 1946

World War II brought in government contracts that continued to keep the practice afloat. After the war, Harvey was joined by his son and the commissions in the 1950s included a number of medical buildings, such as a major expansion of the Midway Hospital on San Vicente in 1950 and an enlargement of the Elwynn Sanitarium campus at Laurel Avenue and Santa Monica Boulevard in 1952.

Another project was a new plant and office building for Vlier Engineering at Santa Monica and San Vicente Boulevards in 1954.

Now in his seventies, Hansen retired from his practice, turning his office over to his son. He passed away in Los Angeles on August 6, 1971, at the age of 87.

Sources: United States 190-19400 Census'; Los Angeles County death certificate for Arthur Edward Harvey; Historic Cultural Monument Nos. 298, 315, 329 and 604, various Los Angeles Times articles; various Southwest Builder and Contractor citations; Los Angeles City building permits.

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State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CS
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 *Resource Name or #: (Assigned by recorder) Wilshire Medical Building

P1. Other Identifier: _____

*P2. Location: ___ Not for Publication X Unrestricted *a. County Los Angeles County
and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Hollywood Date: 1996

c. Address: 3875 WILSHIRE BLVD City: LOS ANGELES Zip: 90010

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: _____

APN:5503032011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A) Property Type: commercial **B) Setting (general):** commercial block **C) General characteristics. Architectural Style:** Art Deco, elements of **Plan:** rectangular **No. Stories:** 14 **Siding/Sheathing:** stucco: smooth, All Visible **Roof:** hipped, medium, parapet, multiple rooflines **Construction** unknown **D) Specific features. Fenestration:** metal, casement, front **Primary Entrance:** front **G) Alterations or changes to the property. Retai integrity:** medium

*P3b. Resource Attributes: (List attributes and codes) HP07

*P4. Resources Present: X Building ___ Structure ___ Object ___ Site ___ District ___ Element of District ___ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)

P5b. Description of photo: (View, data, accession #)
View to the Northeast, 09/03/08

*P6. Date Constructed/Age and Sources: X Historic
___ Prehistoric ___ Both
1934
Assessor

*P7. Owner and Address:
JAMISON 3875 WILSHIRE LLC
3807 WILSHIRE BLVD (NO 300)
LOS ANGELES, CA 90010

*P8. Recorded by:
Peter Moruzzi
PCR Services Corporation
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

*P9. Date Recorded: 09/08/2008

*P10. Survey Type: (Describe)
Intensive

*P11. Report Citation: (Cite survey report and other sources or enter "none.")
PCR Services Corporation Historic Resources Survey of the Wilshire Center/Koreatown Recovery Redevelopment Project Area. Prepared for the Community Redevelopment Agency of the City of Los Angeles in collaboration with Chattel Architecture (lead) and LSA Associates, Inc., March 2009.

*Attachments: ___ None ___ Location Map X Sketch Map X Continuation Sheet X Building, Structure, and Object Record
___ Archeological Record ___ District Record ___ Linear Feature Record ___ Milling Station Record
___ Rock Art Record ___ Artifact Record ___ Photograph Record ___ Other (List): _____

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # _____
HRI # _____

*NRHP Status Code 3CS

*Resource Name or #: (Assigned by recorder) Wilshire Medical Building

B1. Historic Name: Wilshire Medical Building

B2. Common Name: 3875 WILSHIRE BLVD

B3. Original Use: Office Building B4. Present Use: Office Building

*B5. Architectural Style: Art Deco

*B6. Construction History: (Construction date, alterations, and data of alterations)

Year constructed: 1934

*B7. Moved? X No ___ Yes ___ Unknown Date: _____ Original Location: _____

*B8. Related Features:

None

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Area: Los Angeles Theme:

Context: Commercial Development in the Early 20th Century, 1913-1945 **Theme:** Commercial Development and the Automobile, 1900-1945; **Context:** Architecture, Engineering and Designed Landscapes, 1913-1945 **Theme:** Zig Zag Sophistication, 1920s

Period of Significance: 1934 **Property Type:** Office Building **Applicable Criteria:** A/1, C/3

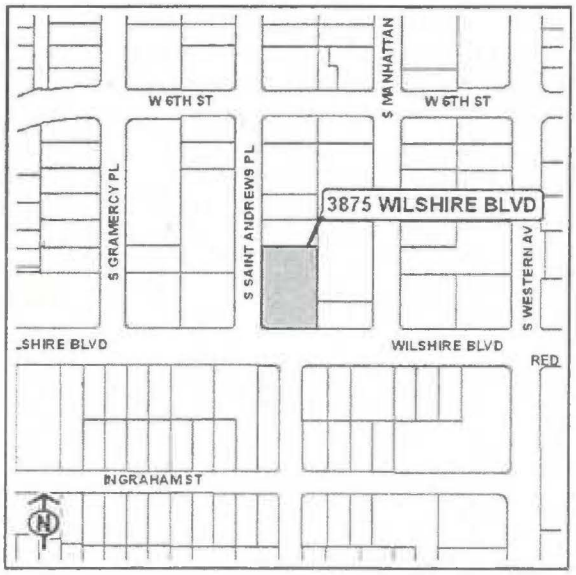
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Theme: Zig Zag Sophistication, 1920s

The Art Deco tradition was established by the Exposition Internationale des Arts Décoratif et Industriels Modernes in Paris in 1925. The style used the tools of industrialization for highly artistically expressive purposes and quickly took hold in the United States. It celebrated a break from historic precedence, the decorative arts, new construction and fabrication methods, and creative uses of technology in the modern world, particularly within booming cities of the 1920s. In Los Angeles, it was applied to high profile, large scale buildings at the dawn of the Great Depression, such as Parkinson and Parkinson's innovative Bullock's Wilshire (1929)....(continued on next page)

B11. Additional Resource Attributes: (List attributes and codes) HP07

*B12. References:



B13. Remarks:

*B14. Evaluator: Peter Moruzzi

*Date of Evaluation: 09/08/2008

(This space reserved for official comments.)

*Required Information

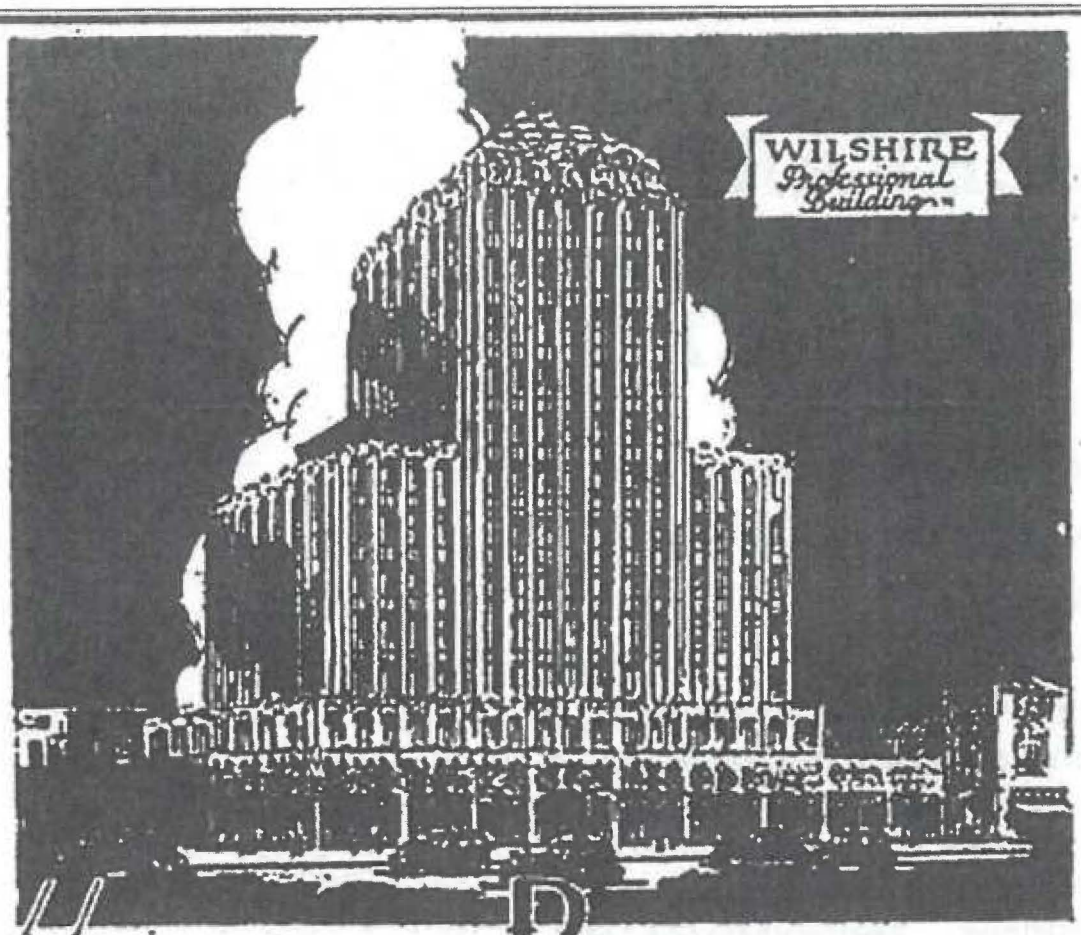
B10. Statement of Significance (continued): By the time it opened in 1939, the I. Magnin department store designed by Myron Hunt reflected the nation and city's economic recovery. Outstanding examples of Art Deco apartment houses remain in the survey area (the style was rarely applied to single-family residential architecture). These are mostly constructed of reinforced steel and concrete and display geometric flourishes.

Art Deco evolved into the Streamline Moderne style (also known as Depression Moderne), which was an architectural response to the Great Depression. Rounded, simple, pared-down forms reflected a belief in technology and hope for the future, while the use of lower cost materials and lack of ornament indicated the scarcity and restraint required during this period. Often using ships and locomotives as inspiration and designed to evoke forward motion and progress, Streamline Moderne buildings looked towards the future but with far more humility than the richly detailed Art Deco structures of the 1920s. Streamline Moderne also imported and popularized aspects of the International Style. Structures built under the auspices of the Works Progress Administration, the federal agency created as part of New Deal relief programs in 1935, also employed variations of Art Deco and Streamline Moderne in the construction of highly visible public work projects and institutional buildings.

Theme: Commercial Development and the Automobile, 1900-1945

Originally intended as one of the city's first elite enclaves, Wilshire Boulevard was embraced by the local elite who constructed their lavish residences along it. By 1907, a little more than a decade since the tract's original platting, the Wilshire Boulevard Tract had fully arrived as an upscale residential district. However, the tract's prominence as a residential area was short-lived as speculators eventually purchased and leveled many of the tract's grand residences for apartment houses. In ensuing decades, as the city continued expanding to the west, Wilshire Boulevard was the beneficiary of over a decade of explosive growth.

During the 1920s, commercial real estate values in the survey area soared and Wilshire Boulevard gained its moniker, "Fifth Avenue of the West." An array of newly built commercial buildings and their associated neon signs began to visually define the survey area from its surroundings. The development of Wilshire Boulevard as a commercial area was closely tied to the rise of the automobile. Los Angeles embraced the automobile earlier and to a greater extent than other American cities during the interwar years. As driving downtown to conduct one's business became increasingly inconvenient, the amenities along Wilshire Boulevard provided a pleasant and attractive alternative. While the commercial decentralization out of downtown Los Angeles began in the early 1920s, it wasn't until the late 1920s and 1930s that commercial centers west of downtown, like Wilshire Boulevard, became true retail destinations. With the increased use of the automobile and a growing residential population near Wilshire, developers touted Wilshire Boulevard's diverse selection of department stores and wide, auto-oriented streetscape.



WILSHIRE BOULEVARD'S FIRST LIMIT HEIGHT BUILDING will be "BY MAYO"

GROUND breaking on the new Wilshire Professional building being erected for Preston S. Wright and Associates, took place last week. To be identified with the first project of this kind in the outlying business district of Los Angeles is a matter of pride for this organization . . . which has developed and will build this magnificent, modern business building.

Complete building service. A Certified Architect prepares all plans on buildings we construct.

Our New Home!

This too, will be our new home. On or about Dec. 1st our entire personnel will move to Suite 704 of this building.

Luther T. Mayo, Inc.

Engineering---Financing---Building

829 BLACK BLDG.—MUtual 8367

HILL ST. AT 4TH

BOULEVARD STRUCTURE ANNOUNCED: Erescion of Professional Building Slated to Begi
Los Angeles Times (1923-Current File); Feb 17, 1929;
ProQuest Historical Newspapers: Los Angeles Times (1881-1990)
pg. E1

BOULEVARD STRUCTURE ANNOUNCED

Erection of Professional Building Slated to Begin on April 1

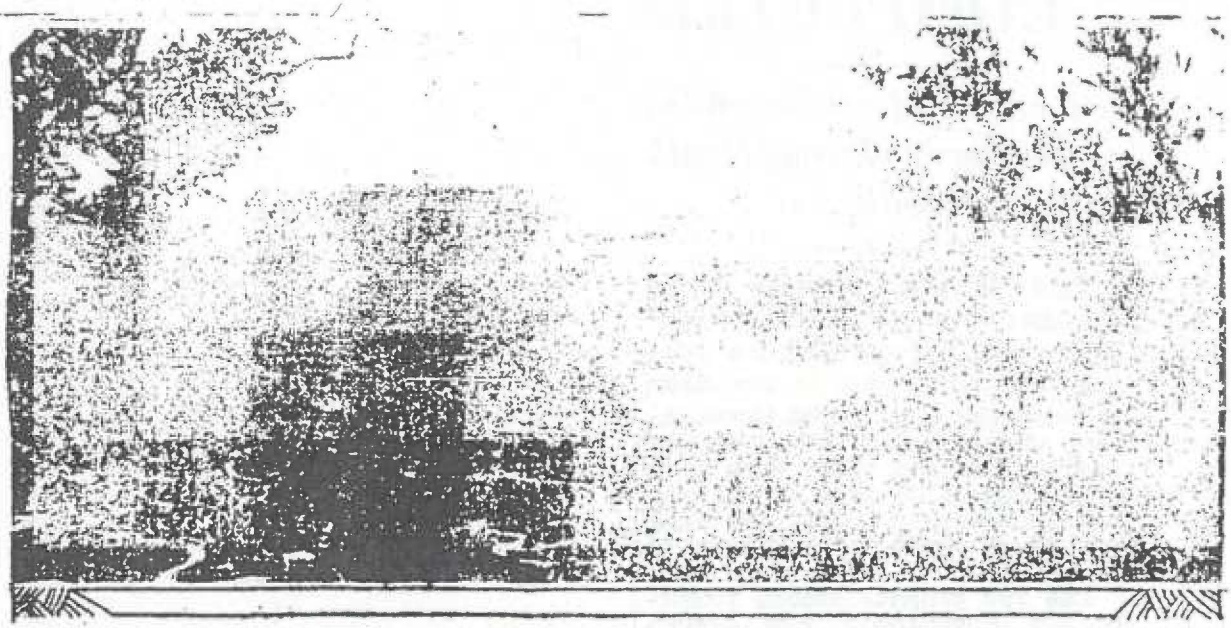
Wilshire Professional Building, a height-limit structure designed particularly for physicians and dentists, will be built on the northeast corner of Wilshire Boulevard and St. Andrews Place. Announcement of the project was made last week by Wright & Becker, Wilshire Boulevard brokers.

Construction on the structure is slated to begin April 1, the Shell Oil Company having made arrangements to vacate the property on March 31.

The plans, as prepared by Arthur E. Harvey, architect, call for thirteen stories of Class A construction. A basement garage will handle cars of all the lessees. High-speed elevators, water softeners, running ice water, steam heat, are included in the specifications.

Professional Building Now Being Erected

Los Angeles Times (1923-Current File); Apr 14, 1929;
ProQuest Historical Newspapers: Los Angeles Times (1881-1990)
pg. E5



Professional Building Now Being Erected

Construction is under way on the $1,000,000 Wilshire Professional Building at the northeast corner of Wilshire Boulevard and St. Andrews Place, by Luther T. Mayo, Inc., work having started on the 1st inst. It is expected that the building will be completed and ready for occupancy about December 1, next. It will be thirteen stories in height and will be devoted to offices and shops.

The Wilshire Professional Building is being financed through Bowes Brothers & Co., well-known Pacific Coast investment bankers specializing in real estate securities, who are making a temporary loan of $500,000. Upon completion the building likely will be refinanced by an insurance company loan.

A syndicate headed by Preston S. Wright, real estate broker and capitalist, own the building. A survey has shown that the building will fill a definite need in the district in which it is located, being within a block and a half of the intersection of Wilshire Boulevard and Western avenue. From leases closed and negotiations pending, all of the stores and a very high percentage of the office space will be under lease by the time the building is ready for occupancy.

STRUCTURES ON WILSHIRE COMPLETED: Four Buildings Scheduled for Opening During
Los Angeles Times (1923-Current File); Sep 22, 1929;
ProQuest Historical Newspapers: Los Angeles Times (1881-1990)
pg. D2

STRUCTURES ON WILSHIRE COMPLETED

Four Buildings Scheduled for Opening During Month on Boulevard

That Wilshire Boulevard during the thirty-day period ending October 1, next, will have hit the bull's eye four more times in its claim to being the outstanding thoroughfare of the West, is seen in the opening last week of two large business projects on that artery, and the announcement that two more will be completed before the end of this month.

The two projects opened recently are Silverwood's new branch store on the west end of the boulevard, between La Brea and Fairfax avenues, and the Town House, a height-limit apartment hotel on the east end of the thoroughfare near Hoover street.

Bullock's new branch store, at South Westmoreland avenue, is virtually completed. The Wilshire Professional Building, just west of Western avenue, will be formally opened on October 1, next, according to the announcement of its owners. The last two named structures also are height-limit. The cement used in their construction was furnished by the Monolith Portland Cement Company. Many innovations in ornamental work are said to have been introduced in the buildings, both being, it is said, two of the most artistic structures in the West.

The professional building cost approximately $600,000.

Bullock's store starts with a two-story height, is graduated into three and four stories from which an ornamental central tower rises to the height-limit.

Development of Wilshire Boulevard is considered unusual in that the activity is not confined to any one area. Silverwood's store, in the new Desmond Building, is on the west end of the thoroughfare; the Wilshire Professional Building is in the central portion, and Bulock's store and the Town House are at the east end.

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Pretentious Five-Year Building Program Outlined for Wilshire District
Los Angeles Times (1923-Current File): Nov 7, 1929;
ProQuest Historical Newspapers: Los Angeles Times (1881-1990)
pg. 10

Pretentious Five-Year Building Program Outlined for Wilshire District

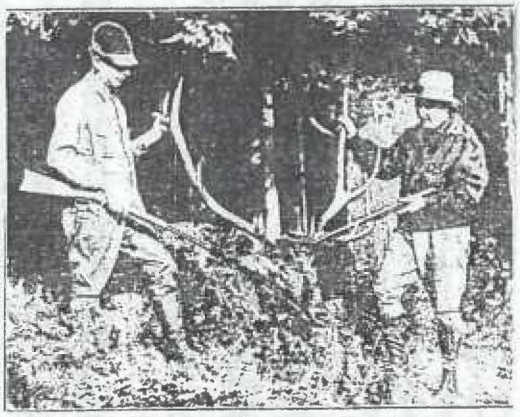
A Five-Year Construction Program Calling for the Erection of 500 Hotels and Apartment Houses at a cost of approximately $50,000,000 was revealed yesterday by A. W. Ross, Wilshire Boulevard real estate broker. A tract of 200 acres on Wilshire west of La Brea, now dotted with oil derricks, will be the site of the construction. It is shown above, outlined with broken line. The area in lower right-hand corner inclosed in solid line is Hancock Park, in which La Brea tar pits are located.

A Happy Occasion for Samuel Insull, utilities magnate, was the recent opening of Chicago Civic Opera Company of which he was one of original backers. (P. & A. photo.)

One of the Biggest Police Jobs in Russia is Under Supervision of a Woman, Madame Kamineva, efficient Chief of Police of the Central district of the Rostov-on-the-Don, who has more than 3000 officers directly under her command. Madame Kamineva (above at her desk) is only 28 years of age but she has already established enviable record in service. (A. P. photo.)

"Man in the Green Hat," otherwise George Cassidy, official bootlegger for thirsty Senators, was arrested recently on steps of Senate Office Building. (P. & A. photo.)

Still Bearing the Scars of Battle sustained in the previous day in game with Harvard, Rainey Cawthon, captain of the University of Florida football team, led Miss Sarah Payne, Columbia student, to the altar at the Little Church Around the Corner in New York. (P. & A. photo.)



For First Time in Thirty Years an Open Season on Elk in the Northwest gave Washington nimrods a chance to draw bead on the lordly game. Henry Suddreth (left) and Scott Bird, both of Seattle, are pictured here with head of 3000-pound elk they bagged in King county within a few hours' drive of the Washington metropolis, on opening day. (P. & A. photo.)

Interest of Prince of Wales in Aviation has resulted in turning the attention of scores of prominent British men and women to flying. The Hon. Mrs. Evan Morgan, daughter-in-law of Lord Tredegar, shown here in plane, is the latest devotee of avia-

New Scenic Vistas Are Opened to Tourists Through Big Passenger Airplanes which are daily flying across many of the nation's beauty spots. This unusual photo shows a Boeing four-passenger plane flying its route above the clouds so near to the peak of mighty Mt. Rainier that passengers might reasonably imagine themselves afoot on the slopes. (P. & A. photo.)

A Prospective Visitor to the United States is Ghazi Mustapha Kemal Pasha, Turkey's first President, who is considering visit to President Hoover. (P. & A. photo.)

One More Big Branch Establishment of pioneer Los Angeles mercantile firms was added to the long list now located on Wilshire Boulevard with the opening yesterday of Halbriter's, Inc., new store in the Wilshire Professional Building at St. Andrews Place.

Herringbone Tweed in black and white is material used in this chic street ensemble. Faint pink of waist and lapels makes for pleasing contrast. (A. P. photo.)

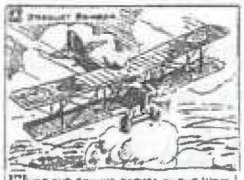
Disguised as a Boy, Ruby Abbott, 16, Elmira (N. Y.) schoolgirl, successfully avoided detention for five months until arrested at New Orleans recently. (P. & A. photo.)

Specially Made Aviator's Goggles, presents from Clarence Brown, film director, will be worn by the Misses Bobby Trout (left) and Eleanor Smith when they make their attempt here to establish a new refueling endurance flight record for women. Brown shown presenting goggles.

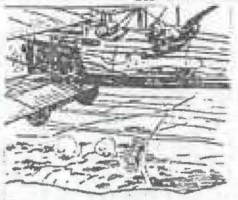
HIGH LIGHTS OF HISTORY 1492

The Story of the World War
262—Achievements of the American Air Service.

by J. CARROLL MANSFIELD

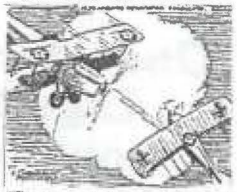


WHILE OUR GROUND FORCES ON THE WESTERN FRONT BURROWED LIKE MOLES IN THE EARTH, AMERICAN AVIATORS SOARED HIGH OVER THE ENEMY'S TERRITORY, TAKING PICTURES OF HIS POSITIONS, WATCHING HIS MOVEMENTS OR BOMBING HIS RAILWAYS, SUPPLY BASES AND MUNITION DUMPS FAR BEHIND THE FRONT LINES.



IN BATTLE OUR OBSERVATION PLANES FLEW OVER THE ENEMY'S POSITIONS, DIRECTING THE FIRE OF OUR ARTILLERYMEN, AND NOTING AND REPORTING THE EFFECT OF THE SHOTS.

ON MANY OCCASIONS AMERICAN AIRMEN SWOOPED LOW AND WITH BOMBS AND MACHINE GUNS DISPERSED BODIES OF ENEMY TROOPS MASSING FOR AN ATTACK OR ON THE MARCH. THEY BOMBED GERMAN BATTERIES AND SUPPLY CONVOYS.



WERE AMERICAN PILOTS A MATCH FOR THEIR ADVERSARIES? HERE'S THE ANSWER. DURING THE WORLD WAR THE AMERICAN AIR SERVICE BROUGHT DOWN 753 ENEMY PLANES AND 71 BALLOONS. IT LOST 357 PLANES AND 34 BALLOONS. — CONTINUED.

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One More Big Branch Establishment of pioneer Los Angeles mercantile firms was added to the long list now located on Wilshire Boulevard with the opening yesterday of Halbriter's, Inc., new store in the Wilshire Professional Building at St. Andrews Place.

FARTHER AFIELD

Getty Oil headquarters

Once owned by billionaire J. Paul Getty, the 22-story tower designed by Claude Beelman Associates was built in the high-rise construction boom that followed the 1957 lifting of height restrictions. Never especially noteworthy as offices, today the former Wilshire Western Building is a prominent example of a trend sweeping the 21st century boulevard. The office floors have been gutted and converted into condominiums starting in the $400,000 range and offering panoramic city views. The Mercury, its new name, includes a rooftop entertainment center with a pool, spa and outdoor theater.

Wilshire Professional Building

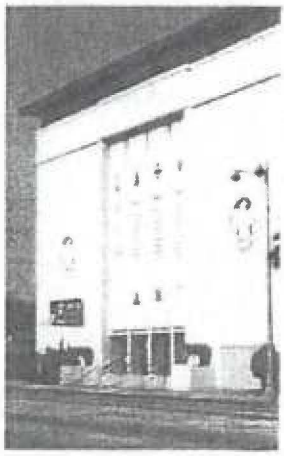
This 1929 Art Deco specimen is another fun example of ZigZag Moderne. Notice how the tower shrinks in girth as it ascends. This stepping back enhances the vertical lift while guaranteeing that even if another tower were built next door, both would have sufficient sunlight and room to breathe. Although the tower was originally built to accommodate doctors and dentists, architect Arthur E. Harvey liked his creation enough that he moved in his offices. Cross Wilshire at St. Andrews to get a close look at the terrazzo sidewalk of geometric shapes, specially created by the Portland Cement Co.

St. James' Episcopal Church

St. James' Episcopal, begun in 1925, is Flemish Gothic Revival in design with stained glass windows from the Judson Studios. It salvaged the organ removed from the demolished St. Paul's Episcopal Cathedral at Wilshire and Figueroa in downtown. Frank Sinatra, Duke Ellington and other musical legends attended the 1965 funeral of Nat King Cole at St. James'.

Los Altos Hotel & Apartments

Designed by Edward Rust and listed on the National Register of Historic Places, the Los Altos is the former retreat of newspaper mogul William Randolph Hearst and actress Marion Davies. It was called "a new standard of beauty and dignity" in 1926, and has been recently remodeled back to its former glory. Perino's, the height of restaurant elegance on Wilshire for many decades, was next door to the east.



Scottish Rite Masonic Temple

Millard Sheets, a highly regarded watercolorist, was also an accomplished architect as well as director of the Otis Art Institute. He designed the 1961 Masonic temple with statues of Egyptian pharaohs, Roman emperors and George Washington. The Masons sold the temple in the 1990s and it is now a community venue called the Wilshire International Pavilion.

Higgins/Verbeck Mansion

Built in the Queen Anne style for a Chicago grain merchant in 1902, the mansion is the oldest and best survivor of the elegant original Wilshire Boulevard residences. It was designed by architect John C. Austin and used to occupy the northeast corner of Wilshire and Rampart boulevards, today the location of the Wilshire Royale. The three-story home was cut into pieces and moved to Windsor Square in 1924.

Building Permit History
3875 Wilshire Boulevard
Wilshire Center

April 2, 1929:	Building Permit No. 8877 for the construction of a 13-story, 80' X 150' steel frame and reinforced concrete office building at 3875 Wilshire Boulevard, on Lots 14, 15 and 16 of Block G of Westminster Place. 369 tons of reinforcing steel, 6,750 bbl of cement Owner: Preston Wright and Associates Architect: Arthur E. Harvey Contractor: Luther T. Mayo, Inc. Cost: $500,000.00
October 5, 1929:	Building Permit No. 25780 to install 14 rope-pull-up Louvre Awnings. Iron frames over 8 ft from sidewalk. Lowest point of canvas 7 feet from sidewalk. Owner: Wright, Beaker & Arbuckle Architect: Arthur E. Harvey Contractor: Luther T. Mayo Cost: $900.00
March 16, 1934:	Building Permit No. 3729 to move two wash basins, connect sink & install 1 2'4" X 6'8" door, Room 1005-6. Owner: Bert A. Frey MD Architect: None Engineer: None Contractor: Charles A. Perryman Cost: $75.00
March 25, 1935:	Building Permit No. 4828 for interior tile work in Room 1106. Owner: Wilshire Prof. Bldg. Architect: None Engineer: None Contractor: Diato Flooring Co. Cost: Not Shown

July 7, 1942:	Building Permit No. 8201 for installing 3" tile main bearing partitions in Room 505, 5th Floor. Owner: Wilshire Professional Building Co. Architect: None Engineer: None Contractor: Joseph Illig Cost: $400.00
August 16, 1946:	Building Permit No. LA22527 for installation of partitions in Room 604 of Wilshire Prof. Bldg. Partitions to be of clay tile & glass brick. No other walls on premises & bearing walls will not be changed. Owner: J. Dayle Miller Architect: None Engineer: None Contractor: None Cost: $2,100.00
October 8, 1946:	Building Permit No.LA27118 for alteration of medical office - Removal of existing interior partitions (non-bearing). Space to be re-divided with new metal stud metal lath & plaster partitions - Ventilation (forced) through existing duct space in building. Work will occur on 7th floor in suite in SE corner. Owner: Wilshire Professional Building Architect: Theodore Criley, Jr. Engineer: None Contractor: Meyers Bros. Cost: $2,500.00
February 6, 1947:	Building Permit No. LA2355 for removal of some non-bearing partitions and installation of some temporary and non bearing partitions. 2nd Floor. (No structural change) Owner: Earle P. Halliburton, Jr. Architect: Eddie C. Dixon & Mike S. Kline Engineer: None Contractor: None Cost: $1,000.00

February 20, 1947:	Building Permit No. LA3998 for installing 40 sq. ft of 4" hollow partitions, Room 1202, 12th floor. Owner: Wilshire Bldg. Co. Architect: None Engineer: None Contractor: Joe Illig Cost: $900.00
May 22, 1947:	Building Permit No. LA9758 to remove 35' of existing partitions & install 24' of new partitions for the purpose of combining two existing suites. Owner: E. P. Halliburton Architect: None Engineer: None Contractor: Andrews & Warfield. Cost: $850.00
August 1, 1947:	Building Permit No. LA17380 to remove three (3) non bearing stud & plaster walls, relocate one (1) lavatory & build approx 16' of new wall - stud & replaster. All in room 1105; No structural changes. Owner: Preston S. Wright Architect: None Engineer: None Contractor: Stephan & Chandler Cost: $1,000.00
August 12, 1947:	Building Permit No. LA17821 for building alter/repair-missing permit. Owner: Wilshire Bldg. Co. Architect: None Engineer: None Contractor: Joe Illig Cost: $900.00

May 29, 1947:	Building Permit No. VN20039 to increase working area in #403 by adding the area of #402, vacated by a dentist and remodeling the area #402 so that it is useful for medical purposes. The two suites are to be connected by inside door. Owner: Erle P. Haliburton, Trustee Architect: None Engineer: None Contractor: Howard Boober Cost: $500.00
May 29, 1947:	Building Permit No. VN20040 to combine two small suites into one larger suite, so that space may be suitable for professional use of tenant. One wall to be removed; one wall to have insert of glass brick for light purposes; one doorway not used to be filled and another door cut thru to connect the two suites. Rooms 303 & 304. Owner: Erle P. Haliburton, Trustee Architect: None Engineer: None Contractor: Howard Boober Cost: $500.00
December 4, 1947:	Building Permit No. LA35479 to remove approx 25' of existing partitions & install approx 30 ' of new partition. All new partitions to be of steel studs covered with metal lathe and plaster. Owner: Erle. Haliburton Architect: None Engineer: None Contractor: Hamilton-Daugherty, Inc. Cost: $3,000.00
January 21, 1948:	Building Permit No. 902 to renovate office suite on 3rd floor. Remove non-bearing partitions. Add new non-bearing gypsum block partitions. Owner: Wilshire Professional Bldg. Architect: George Cannon Engineer: None Contractor: Not Yet Cost: $7,500.00

August 18, 1948:	Building Permit No. 30045 to remodel approx 1000 sq ft of office space on the 9th floor. Remove some existing partitions, install some new partitions. Remove some existing & install some new plumbing and electrical fixtures. No new driveway to be built Owner: Erle P. Haliburton, Trustee Architect: None Engineer: None Contractor: Hamilton-Daugherty, Inc. Cost: $5,000.00
November 25, 1949:	Building Permit No. 28190 to install pair of Herculite doors from drug store into lobby replacing one existing door. Owner: Wilshire Medical Building Architect: Spaulding & Rex Engineer: None Contractor: Vinnell Company, Inc. Cost: $1,400.00
July 10, 1950:	Building Permit No. 12536 to remove walls & install walls, change wiring and plumbing. 9th floor. No change to plot plan. Owner: Wilshire Professional Building Architect: None Engineer: None Contractor: Owner Cost: $1,400.00
August 14, 1950:	Building Permit No. LA13890 to lower frame partitions in store installing a new 2" X 6" joist inside store. Being used as radiation as 10' being removed to lower ceiling using wood egg crating. Redoing plaster side walls of a vacant 16½' X 43½' store at 3873 Wilshire Boulevard. Owner: Superior Optical Co. Architect: None Engineer: None Contractor: Stuart F. Malloy Cost: $1,000.00

February 20, 1951: Building Permit No. LA4337 to demolish 28 lin. ft. of gypsom plaster wall and erect 20 lin. ft. of steel stud and metal lath and plaster wall. RM 609.
Owner: E. C. Haliburton
Architect: None
Engineer: None
Contractor: Fred S. Macomder
Cost: $500.00

November 5, 1951: Building Permit No. LA21805 to remove some walls & install some new walls in 1 office. (7th floor)
Owner: Wilshire Professional Building
Architect: None
Engineer: None
Contractor: Owner
Cost: $500.00

November 13, 1952: Building Permit No. LA47686 to extend lobby thru to parking lot at rear of building.
Owner: Wilshire Professional Building
Architect: John Rex
Engineer: None
Contractor: Walter A. McDonald Co.
Cost: $15,000.00

January 11, 1954: Building Permit No. LA77667 to add exterior door to coffee shop entrance from Wilshire Blvd.
Owner: Wilshire Professional Building
Architect: Honnold & Rex
Engineer: None
Contractor: W. F. McDonald
Cost: $1,500.00

August 13, 1954: Building Permit No. LA92226 to change doorways to make space into 1-suite of offices & install acoustic ceiling over plaster, install one sink cabinet and 1 window, paint, remodel 1 lavatory.
Owner: Dr. M. C. Hollingworth
Architect: Walker, Kalionzes & Klingerman
Engineer: None
Contractor: George A. Grosvenor
Cost: $1,250.00

September 14, 1954: Building Permit No. LA97255 to erect non-bearing wall of 3" gypsum tile to form semi enclosed area. F/W LA92226
Owner: Dr. M. C. Hollingsworth
Architect: None
Engineer: None
Contractor: George A Grosvenor
Cost: $100.00

October 28, 1954: Building Permit No. LA98820 for installing speedy drywall partition as per plans & specifications on 7th floor.
Owner: Wilshire Professional Building
Architect: None
Engineer: None
Contractor: Specialty Const. Inc.
Cost: $500.00

November 8, 1954: Building Permit No. LA1700 for installing speedy drywall partitions as per plans & specifications on 13th floor.
Owner: Wilshire Professional Building
Architect: None
Engineer: None
Contractor: Specialty Const. Inc.
Cost: $1,500.00

February 10, 1955: Building Permit No. LA8711 to install speedy drywall partitions in Room 704.
Owner: Haliburton Properties
Architect: None
Engineer: None
Contractor: Specialty Const. Inc.
Cost: $300.00

August 8, 1955: Building Permit No. LA21784 to install office partitions, steel stud & sheetrock, non-bearing. (6th floor).
Owner: Wilshire Proff. Bldg.
Architect: Walker, Kalionzes & Klingerman
Engineer: None
Contractor: Wallace McDonald
Cost: $300.00

January 15, 1957:	Building Permit No. LA61959 for installing speedy drywall partition as per plans & set. 4th Floor. Owner: Hallifurton Prop Inc. Architect: None Engineer: None Contractor: Specialty Contr's., Inc. Cost: $1,700.00
June 24, 1957:	Building Permit No. LA75326 to alter ent. lobby & ent. door. Owner: Halliburton Inc. Architect: John Rex Engineer: None Contractor: Not Selected Cost: $8,000.00
July 9, 1957:	Building Permit No. LA76474 to add steel beam. Owner: Halliburton Inc. Architect: John Rex Engineer: Kenneth Iwata Contractor: Not Selected Cost: $200.00
May 15, 1959:	Building Permit No. LA32337 for structural changes to support new X-ray machine . Owner: Preston S. Wright Architect: Arthur Harvey & P. M. Jones Engineer: None Contractor: John Cole Cost: $8,000.00
August 17, 1959:	Building Permit No. LA40117 for air conditioning - all floors. Owner: Wilshire Professional Bldg. Architect: Honnold & Rex Engineer: Kenneth Iwata Contractor: Robert W. Standhope Co. Cost: $140,000.00

August 26, 1959:	Building Permit No. LA40835 for revision of duct opening in 2nd Floor. Owner: Wilshire Professional Building Architect: Honnold & Rex Engineer: None Contractor: Not Selected Cost: $101.00
July14, 1960:	Building Permit No. LA65287 for unspecified work (permit is blank on work). Owner: Erle P. Hallibur, Jr. et al. Architect: Mr. Kalionzes & Mr. Klingerman4 Engineer: None Contractor: Wallace F. McDonald Co. Cost: $1,500.00
December 16, 1961:	Building Permit No. LA3801 to stud and drywall (250 linear ft) 3rd Floor only. Owner: Wilshire Professional Bldg. Architect: None Engineer: Henry G. Lane Contractor: Specialty Contractors, Inc. Cost: $4,500.00
May 10, 1962:	Building Permit No. LA9550 for S?F neon wall sign 203 sq. ft. for pharmacy. Sign not to be erected if view primarily from or within 500' of a freeway. Owner: Gavin Herbert Architect: None Engineer: G. M. Willson Contractor: Q. R. S. Neon Corp. Cost: $1,400.00
June 10, 1962:	Building Permit No. LA15039 to erect 3'2" X 19'6" wall sign on rear (North) wall of bldg for pharmacy.. Owner: Gavin Herbert Architect: None Engineer: None Contractor: Q. R. S. Neon Corp., LTD Cost: $400.00

May 22, 1963:	Building Permit No. LA38705 for steel studs & 1/2 gyp bd. on 10th Floor - interior partition. Exits not affected. Owner: Erle P. Halliburton, Jr. Architect: None Engineer: None Contractor: Wallace McDonald Cost: $1,400.00
July 10, 1963:	Building Permit No. LA43405 for steel studs & ½ gyp. bd. on 10th Floor - interior part. & ceils. Exits not affected. Owner: Erle P. Halliburton, Jr. Architect: None Engineer: None Contractor: Wallace F. McDonald Cost: $1,500.00
December 10, 1963:	Building Permit No. LA53571 to remodel 1st floor to convert vacant office to restaurant to enlarge exist. restaurant. Owner: Halliburton Enterprises Architect: John L. Rex Engineer: Greve & O'Rourke Contractor: Not Selected Cost: $50,000.00
1964:	Building Permit No. LA68627 for work on restaurant on 1st floor-(missing permit). Owner: Erle P. Halliburton, Jr. Architect: Honnold & Rex Engineer: None Contractor: Wallace McDonald Cost: Unknown
November 10, 1964:	Building Permit No. LA82073 for change of plans, change cocktail room to storage by rear exit door. File with LA68627/64 Owner: Erle P. Halliburton, Et Al. Architect: Honnold & Rex Engineer: None Contractor: Wallace McDonald Cost: $101.00

December 10, 1964: Building Permit No. LA84534 for change of plans: Change storage Rm to cocktail lounge & dining room. File with LA68627/64
Owner: Erle P. Halliburton, Jr.
Architect: Honnold & Rex
Engineer: None
Contractor: Wallace McDonald
Cost: $101.00

September 10, 1965: Building Permit No. LA4371 to remodel office 509.
Owner: Erle & David J. Halliburton
Architect: None
Engineer: None
Contractor: Owner
Cost: $1,250.00

March 10, 1971: Building Permit No. LA25719 for wall signs 2 roof signs.
Owner: Arthur Js
Architect: None
Engineer: E. C. Forestal
Contractor: Q. R. S. Corp.
Cost: $2,700.00

October 10, 1971: Building Permit No. LA38559 to add interior partitions & suspended ceiling.
Owner: 3875 Wilshire Co.
Architect: None
Engineer: None
Contractor: R. F. Jensen
Cost: $7,000.00

November 10, 1972: Building Permit No. LA60512 to cover ceiling, erect partitions, 6th floor office.
Owner: Winston Millett
Architect: None
Engineer: None
Contractor: None
Cost: $2,500.00

July 24, 1973:	Building Permit No. LA74986 to remove interior non-bearing partitions / install new ceiling and partitions (13th floor). Owner: 3875 Wilshire Co. Architect: None Engineer: None Contractor: Owner Cost: $6,500.00
January 28, 1975:	Building Permit No. LA2672 to remove existing walls, construct new walls for drywall, steel stud, install plumbing & cabinets in Room 408. Owner: 3875 Wilshire Co. Architect: None Engineer: None Contractor: None Cost: $6,800.00
February 24, 1975:	Building Permit No. LA3893 for inverted T-bar ceiling. File with LA2672/75. Owner: 3875 Wilshire Co. Architect: None Engineer: None Contractor: None Cost: $200.00
May 12, 1975:	Building Permit No. LA7495 for 31½ F/20" X 6', 325 sf sheet metal and Plexiglas wall sign (2) QRS Job #101349. Owner: Erle & David J. Halliburton Architect: None Engineer: None Contractor: QRS Corp. Cost: $6,000.00
May 19, 1977:	Building Permit No. LA45032 for alterations as required by State Fire Marshall for compliance to exist. high rise regulations. Owner: Winston Architect: None Engineer: Lester Paley Contractor: Not Selected Cost: $10,000.00

June 15, 1978:	Building Permit No. LA64939 to build partition wall, install lead sheathing for X-ray room (7th Floor, Suite 702). Owner: 3875 Wilshire Blvd. Architect: None Engineer: None Contractor: Not Selected Cost: $500.00
September 15, 1978:	Building Permit No. LA70150 to relocate drywall SS partitions & "T" bar ceiling & remodeling medical offices - 3rd story Owner: 3875 Wilshire Co. (Winston Millet) Architect: None Engineer: None Contractor: Owner Cost: $6,000.00
June 25, 1979:	Building Permit No. LA84975 for interior partitions w/. Owner: 3875 Wilshire (Winston Millet) Architect: None Engineer: None Contractor: Owner Cost: $3,500.00
November 27, 1979:	Building Permit No. LA93968 for 2 walls & ceiling on 6th floor #607. Owner: Same/3875 Wilshire Co. Architect: None Engineer: None Contractor: Not Selected Cost: $5,100.00
February 26, 1982:	Building Permit No. LA39429 to lower ceilings, build one wall, 11th Floor, Suite 1101. Owner: 3875 Wilshire Company Architect: None Engineer: None Contractor: Not Selected Cost: $5,000.00

April 24, 1990:	Building Permit No. LA55079 for new T-bar ceiling, new walls, lighting. Tenant improvement @ Suite 1001. Applicant will spend 10% of total cost of planned construction = $1,200.00 to upgrade one elevator cab, buttons on 1st floor and 10th floor to be upgraded. Non complying door (2'-10") wide will be allowed to remain @ entrance to space of remodel since actual path of travel is being upgraded. Owner: 3875 Wilshire Co. - Winston Millett Architect: Arthur T. Parker (Gayle N Melton) Engineer: None Contractor: Owner Cost: $12,000.00
June 14, 1990:	Building Permit No. LA58010 to comply with retrofit requirements for elevator lobbies, new doors FSD (2nf to 13th Floors). Owner: Winston Millett for 3875 Wilshire Company Architect: Gary Russell Engineer: None Contractor: Not Selected Cost: $291,000.00
June 28, 1990:	Building Permit No. LA58861 for non-bearing interior partitions (6th floor). Owner: 3875 Wilshire Company Architect: Gary Russell Engineer: None Contractor: Owner Cost: $25,000.00
December 14, 1990:	Building Permit No. LA68026 for non-bearing interior partitions; pump room & basement elev. enclosure. Owner: Winston Millet Architect: Gary Russell Engineer: None Contractor: Owner Cost: $11,000.00

December 18, 1991:	Building Permit No. LA85603 for 1 HC restroom & non bearing partition (1st floor). Owner: Winston Millet Architect: Gary Russell Engineer: None Contractor: Owner Cost: $18,000.00
January 31, 1992:	Building Permit No. LA87126 for 3' X 23' 84 SF metal and Plexiglas wall sign Owner: Winston Millet Architect: None Engineer: None Contractor: Kim & Lee's Sign Cost: $6,000.00
April 13, 1995:	Building Permit No. WL26439 to repair block wall from EQ damage per City Standard. Owner: Winston Millet Architect: None Engineer: None Contractor: Jose G. Rollas Cost: $18,000.00
March 1, 2000:	Building Permit No. LA96270 for lobby tenant doors on all 14 levels (incld. basement). Owner: 3875 Wilshire Co. Architect: Gary Russell Engineer: None Contractor: Cab Co. Cost: $20,000.00
January 24, 2003:	Building Permit No. LA98283 for one HR ceiling in elevator lobbies on 3rd, 4th, 8th to 13th floors. Upgrade 4th floor women's restroom to fully comply with title 24 requirements. Owner: Jamison 3875 Wilshire LLC Architect: Gary Russell Engineer: None Contractor: Owner-Builder Cost: $16,700.00

April 11, 2006:	Building Permit No. LA90732 to complete work on permit #03016-10000-01465 (LA98283/03) work 75% complete. Owner: Jamison 3875 Wilshire LLC Architect: None Engineer: None Contractor: Philmont Management Inc. Cost: $4,175.00

All Applications Must be Filled Out by Applicant

Bldg. Form 1

PLANS AND SPECIFICATIONS and other data must also be filed

1

BUILDING DIVISION

DEPARTMENT OF BUILDING AND SAFETY

Application for the Erection of Buildings

CLASS "A"—"B" ~~"C"~~

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned Applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM, No. 6 REAR ROOM NORTH ANNEX 1st Floor

CITY CLERK PLEASE VERIFY

TAKE TO ROOM No. 6 FIRST FLOOR 242 S. BROADWAY

ENGINEER PLEASE VERIFY

Lot No. 15 & 16 Block G
(Description of Property)

(2nd FLOOR) No. 248 Westminster Place

District No. 29 M. B. Page 16 F. B. Page 11 2

(FLOOR) No. 3875 Wilshire Blvd Street
(Location of Job)

N.E. Cor St Andrews Pl

(USE INK OR INDELIBLE PENCIL)

City Clerk By Deputy

City Engineer By Deputy

1. Purpose of Building Office Bldg No. of Rooms — No. of Families —
2. Owner's name Preston Wright & Associates Phone FL4111
3. Owner's address 3900 Wilshire Blvd.
4. Architect's name Arthur E. Harvey Phone MU7927
5. Contractor's name Luther T. Mayo Inc. Phone MU8367
6. Contractor's address 829 - Black Bldg.
7. TOTAL VALUATION OF BUILDING {Including all Material, Labor, Finishing, Equipment and Appliances in Completed Building.} $ 500,000.00
8. Any other building or permit for a building on lot at present? No How used? —
9. Size of proposed building 80 x 150 Size of lot 150 x 150 feet
10. Number of stories in height 13 Height to highest point 181'-0"
11. Material of foundation Concrete Character of soil Hard Clay
12. Material of exterior walls Reinforced Concrete
13. Material of interior construction " "
14. Material of floors " "
15. Material of roof " "
16. Will all lathing and plastering comply with Ordinance? Yes
17. What zone is property in? C

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree, if a permit is issued, that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and State Laws.

OVER 3/21 10

(Sign Here) A E Harvey (by) Paul Smith
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO.	Plans and specifications checked and found to conform to Ordinances, State Laws, etc.	Application checked and found O.K.	Stamp here when permit is issued.
8877	Plan Examiner	4/27/29 ZC 5'50 Clerk	ISSUED APR 2 1929

SPRINKLERS — HOT WATER — 336 75

FOR DEPARTMENT USE ONLY

APPLICATION	O.K.
CONSTRUCTION	O.K.
ZONING	O.K. ~~[illegible]~~ CP
SET-BACK LINE	O.K. CP
ORD. 33761 (N. S.)	O.K. CP
FIRE DISTRICT	O.K.

REMARKS

~~27,000 Sacks of Cement~~
369 Tons reinforcing steel
6750 BBl cement

All Applications Must be Filled Out by Applicant

PLANS AND SPECIFICATIONS and other data must also be filed

Bldg. Form 2

BUILDING DIVISION

3

DEPARTMENT OF BUILDING AND SAFETY

Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM	REMOVED TO
TAKE TO ROOM No. 248 (2ND FLOOR) CITY CLERK PLEASE VERIFY	Lot ____ Block ____	Lot ____ Block ____
	Tract ____	Tract ____
TAKE TO ROOM No. 5 (MAIN ST. FLOOR) ENGINEER PLEASE VERIFY	Book ____ Page ____ F. B. Page ____	Book ____ Page ____ F. B. Page ____
	From No. 3875 Wilshire Blvd. Street	
	To No. Los Angeles Street	

O. K. City Clerk ____ By ____ Deputy

O. K. City Engineer ____ By ____ Deputy

(USE INK OR INDELIBLE PENCIL)

1. What purpose is the present Building now used for? Store
2. What purpose will Building be used for hereafter? ____
3. Owner's name Wright Baker & Arbuckle Phone FI 4111
4. Owner's address 3900 Wilshire Blvd
5. Architect's name Arthur E. Harvey Phone ____
6. Contractor's name Luther T. Mays Phone ____
7. Contractor's address 829 Black Building
8. VALUATION OF PROPOSED WORK (Including all Material, Labor, Finishing, Equipment and Appliances in Completed Building.) $ 900.00
9. Class of present Building ____ No. of rooms at present ____
10. Number of stories in height ____ Size present Building ____ x ____
11. State how many buildings are on this lot ____
12. State purpose buildings on lot are used for ____ (Apartment House, Hotel, Residence, or any other purpose.)
13. What Zone is Property in? ____

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

14 Roofs - Full up Louvre Awnings. Iron frame over 8 ft from sidewalk. Lowest point of canvas 7 ft from sidewalk

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here) per F. Bremner Distinctive Awning Co
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO.	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc.	Application checked and found O. K.	
25780	Plan Examiner	10/5/29 Chapman Clerk	OCT 5 1929

Stand

Rev

35

14. Size of new addition ..... x ..... No. of Stories in height .....
15. Material of foundation ..... Size footings ..... size wall ..... Depth below ground .....
16. Size of Redwood Mudsills ..... x ..... Size of interior bearing studs ..... x .....
17. Size of exterior studs ..... x ..... Size of interior non-bearing studs ..... x .....
18. Size of first floor joists ..... x ..... Second floor joists ..... x .....
19. Will all Lathing and Plastering Comply with Ordinance? .....
20. Will all provisions of State Housing Act be complied with? .....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinance and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here) .....
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

APPLICATION	O. K.
CONSTRUCTION	O. K.
ZONING	O. K.
SET-BACK LINE	O. K.
ORD. 33761 (N. S.)	O. K.
FIRE DISTRICT	O. K.

REMARKS

Bldg. Form 1

3

USE INK OR INDELIBLE PENCIL

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM	REMOVED TO
Lot	Lot
Tract	Tract

Present location of building: 3875 Wilshire Blvd. (House Number and Street)

New location of building: (House Number and Street)

Between what cross streets: Col of Vaughn

Approved by City Engineer.

Deputy.

1. Purpose of PRESENT building: Medical Building (Store, Residence, Apartment House, or any other purpose.) Families — Rooms —
2. Use of building AFTER alteration or moving: Same Families — Rooms —
3. Owner (Print Name): Bert A. Frey M.D. Phone FI. 2292
4. Owner's address: 3875 Wilshire Blvd.
5. Certificated Architect ..... State License No. ..... Phone .....
6. Licensed Engineer ..... State License No. ..... Phone .....
7. Contractor: Charles A. Pennyman State License No. 10867 Phone Dr. 0407
8. Contractor's address: 6681/2 S. Alvarado
9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.) $ 75.00
10. State how many buildings NOW on lot and give use of each: One (Residence, Hotel, Apartment House, or any other purpose.)
11. Size of existing building ..... x ..... Number of stories high 15 Height to highest point .....
12. Class of building A Material of existing walls Tile Exterior framework Steel (Wood or Steel)

Describe briefly and fully all proposed construction and work:

Move 2 wash basins, connect 1 sink & install 2-4" x 6-8 Door. Rm. 1005-6

Fill in Application on other Side and Sign Statement (OVER)

FOR DEPARTMENT USE ONLY

PERMIT NO.	Plans and Specifications checked	Zone	Fire District	Fee
3729	Corrections verified	Bldg. Line 5 Ft.	Street Widening Ft.	Stamp here, when Permit is issued: MAR 16 '34
PLANS	Plans, Specifications and Application checked and approved	Application checked and approved Clerk.		
Rec'd	For Plans See	Filed with	SPRINKLER Required Specified Valuation Included Yes No	Inspector

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....

Material of Foundation.....Width of Footing.....Depth of footing below ground.....

Width Foundation Wall.....x.....Size of Redwood Sill.....x.....Material Exterior Walls.....

Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....

Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here x Charles A. Lingman
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Vent'l.....

(1)
REINFORCED CONCRETE

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2)
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from

.....Street

Sign Here.....
(Owner or Authorized Agent)

(3)
No required windows will be obstructed.

Sign Here .....
Owner or Authorized Agent

(4)
There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here .....
(Owner or Authorized Agent)

REMARKS: REDWOOD TO LUMBER BELOW THE FIRST FLOOR BEAMS WILL BE TREATED AGAINST TERMITE INFESTATION AS REQUIRED BY SEC. 105 OF BUILDING ORDINANCE

OWNER OR AUTHORIZED AGENT

I hereby agree that the building and every portion thereof referred to in this application will be set back from the street property line not less than 5 feet, except that the following projections may extend into such set-back space, as follows:

Cornices, canopies and eaves.....2 ft. 6 in.

Landing or terrace, without roof, extending to first floor level only.....6 ft.

Open railing, not over 33 in. high, around such landing or terrace.....6 ft.

Fire Escapes .....4 ft. 6 in.

I hereby agree to the above conditions and accept the permit to do the work mentioned in this application in accordance therewith.

(Signed) Charles A. Lingman
Owner or Authorized Agent.

Bldg. Form 3

USE INK OR INDELIBLE PENCIL

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM	REMOVED TO
Lot	Lot
Tract	Tract

Present location of building: 3875 Wilshire Blvd. Rm. 1106.
(House Number and Street)

New location of building: .....
(House Number and Street)

Between what cross streets: .....

Approved by City Engineer.

Deputy.

1. Purpose of PRESENT building office Families ..... Rooms .....
Store, Residence, Apartment House, or any other purpose.
2. Use of building AFTER alteration or moving ..... Families ..... Rooms .....
3. Owner (Print Name) Wilshire Prof. Bldg. Phone .....
4. Owner's address 3875 Wilshire Blvd.
5. Certificated Architect None State License No. ..... Phone .....
6. Licensed Engineer None State License No. ..... Phone .....
7. Contractor Diato Flooring Co., State License No. 6143 Phone Ho. 3511
8. Contractor's address 1135 No. Mansfield.
9. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.) $ .....
TILE SETTING ORDINANCE FEE $1.00
10. State how many buildings NOW on lot and give use of each. .....
Residence, Hotel, Apartment House, or any other purpose.
11. Size of existing building ..... x ..... Number of stories high ..... Height to highest point .....
12. Class of building C Material of existing walls ..... Exterior framework .....
Wood or Steel

Describe briefly and fully all proposed construction and work:

Interior Tile work.

Fill in Application on other Side and Sign Statement (OVER)

FOR DEPARTMENT USE ONLY

PERMIT NO.	Plans and Specifications checked	Zone	Fire District No.	Fee 1.00
4828 4828	Corrections verified	Bldg. Line Ft.	Street Widening Ft.	Stamp here when Permit is issued MAR 25 1935
PLANS Rec'd	Plans, Specifications and Applications rechecked and approved	Application checked and approved Pr 3/25/35 Clerk.		Inspector
	For Plans See / Filed with	SPRINKLER Required Valuation Included / Specified Yes—No		

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....

Material of Foundation.....Width of Footing.....Depth of footing below ground.....

Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....

Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....

Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here....Diato Flooring Co.....
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Vent'l.....

(1)
REINFORCED CONCRETE

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2)
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from

.....Street

Sign Here.....
(Owner or Authorized Agent)

(3)
No required windows will be obstructed.

Sign Here.....
Owner or Authorized Agent.

(4)
There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....
(Owner or Authorized Agent)

REMARKS: .....

Bldg. Form 1

USE INK OR INDELIBLE PENCIL

3

CITY OF LOS ANGELES

DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM	REMOVED TO
Lot	Lot
Tract	Tract

Present location of building: 3875 WILSHIRE BLVD (House Number and Street)

New location of building: 3875 WILSHIRE BLVD (House Number and Street)

Between what cross streets: ST ANDREWS

Approved by City Engineer.

Deputy.

1. Purpose of PRESENT building: STORES OFFICES (Stores, Residence, Apartment House, Hotel, or any other purpose) Families ..... Rooms .....
2. Use of building AFTER alteration or moving: SAME Families ..... Rooms .....
3. Owner (Print Name): WILSHIRE PROFESSIONAL BLDG Phone .....
4. Owner's Address: 3875 WILSHIRE BLVD
5. Certificated Architect ..... State License No. ..... Phone .....
6. Licensed Engineer ..... State License No. ..... Phone .....
7. Contractor: JOSEPH ILLIG State License No. 1977 Phone CU 18505
8. Contractor's Address: 801 YALE ST.
9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent heating, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.) $400.00
10. State how many buildings NOW on lot and give use of each: STORES - OFFICES (Residence, Hotel, Apartment House, or any other purpose)
11. Size of existing building: [illegible] Number of stories high: [illegible] Height to highest point: 160
12. Class of building: A Material of existing walls ..... Exterior framework ..... (Wood or Steel)

Describe briefly and fully all proposed construction and work:

ROOM 505 5TH FLOOR

Installing [illegible] non bearing partitions

Fill in Application on other Side and Sign Statement (OVER)

FOR DEPARTMENT USE ONLY

PERMIT NO.	Plans and Specifications [illegible]	Zone C3	Fire District No. 2	Fee 3.00 Stamp here when Permit is issued
8201	Corrections verified [illegible]	Bldg. Line 5' Ft.	Street Widening NO Ft.	JUL -7 1942
	Plans, Specifications and applications rechecked and approved [illegible]	Application checked and approved [illegible] 7-7-42 Date		
PLANS Rec'd JUL -6 1942	For Plans See ..... and with	SPRINKLER Required Valuation included	Specified Yes—No	Inspector Kelso L.

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....

Material of Foundation.....Width of Footing.....x.....Depth of footing below ground.....

Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....

Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....

Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Termite Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

(1)
REINFORCED CONCRETE

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2)
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from

.....Street

Sign Here.....
(Owner or Authorized Agent)

(3)
No required windows will be obstructed.

Sign Here.....
(Owner or Authorized Agent)

(4)
There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....
(Owner or Authorized Agent)

REMARKS: .....

PLAN CHECKING

RECEIPT NO. 1466

VALUATION $ 800 —

AMT PAID $ 1 —

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 3875 Wilshire Blvd. (House Number and Street)

Between what cross streets Wilshire Blvd. x Hobart Place

Approved by City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Dwelling (Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms 2
2. State how long building has been used for present occupancy
3. Use of building AFTER alteration or moving Apt. House Families Rooms 3
4. Owner ~~[illegible]~~ J. Dayle Miller (Print Name) Phone
5. Owner's Address 3875 Wilshire Blvd. P. O. State
6. Certificated Architect License No. State Phone
7. Licensed Engineer License No. State Phone
8. Contractor License No. Phone
9. Contractor's Address
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) $ [illegible]
11. State how many buildings NOW on lot and give use of each. One building (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building x Number of stories high 13 Height to highest point
13. Material Exterior Walls Masonry (Wood, Steel or Masonry) Exterior framework Steel (Wood or Steel)
14. Describe briefly all proposed construction and work: [illegible]

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here J. Dayle Miller (Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY

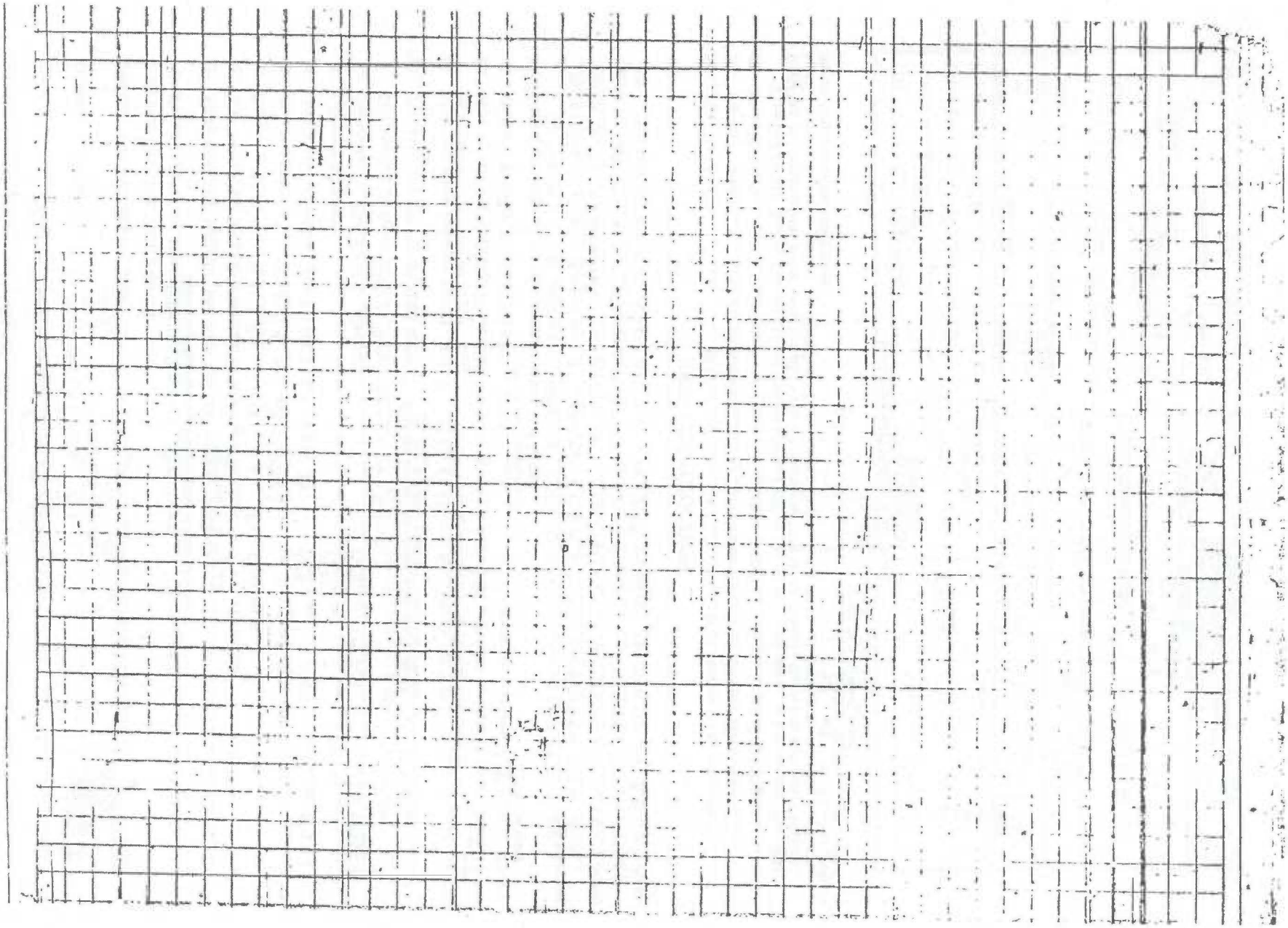
(1) PLAN CHECKING
Receipt No. 25208
Valuation $ 850.00
Fee Paid $ 2.00

(2) REINFORCED CONCRETE
Bbls. Cement
Tons of Reinforcing Steel

(3) The building referred to in this Application will be more than 100 ft. from Street
Sign here Owner or Authorized Agent

TYPE	GROUP	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Feet rear alley / Ft. side alley	Clerk
I	G						

PERMIT No.	Plans and Specifications checked	Zone 4	Fire District No. 1	District Map No.
	Correction Verified	Bldg. Line Ft.	Street Widening Ft.	Fee
	Plans, Specifications and Application rechecked and approved	Application checked and approved		Stamp here when Permit is issued
PLANS		AUG 16 1948 Clerk		1948
Back	Set Plans Sent	Filed with	Continuous Inspection	SPRINKLER Specified, Required Valuation Included Fee By	Inspector



3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form 1

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. Ko Blk. G

Tract Westmoreland Place

Location of Building 3875 WILSHIRE BLVD. (House Number and Street)

Between what cross streets NEcorr. St. Andrews

Approved by City Engineer _____ Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building PROFESSIONAL OFFICES (State, Dwelling, Apartment House, Hotel or other purpose) Families _____ Rooms _____
2. State how long building has been used for present occupancy DOCTOR'S OFFICE
3. Use of building AFTER alteration or moving PROFESSIONAL Families _____ Rooms _____
4. Owner WILSHIRE PROFESSIONAL BUILDING (Print Name) Phone _____
5. Owner's Address 3875 WILSHIRE BLVD P. O. LOS ANGELES
6. Certificated Architect THEODORE CRILEY JR. State License No. C-285 Phone AU 9471
7. Licensed Engineer _____ State License No. _____ Phone _____
8. Contractor MEYERS BROS. State License No. 1429 Phone CL 63181
9. Contractor's Address 5407 SAN FERNANDO ROAD
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) $ 2500
11. State how many buildings NOW on lot and give use of each ONE PROFESSIONAL BUILDING. (State, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 123' x 80' Number of stories high 13 Height to highest point 150 FT
13. Material Exterior Walls REINF. CONC. (Wood, Steel or Masonry) Exterior framework REINF. CONC (Wood or Steel)
14. Describe briefly all proposed construction and work:

ALTERATION TO MEDICAL OFFICE - REMOVAL OF EXISTING INTERIOR NON-STRUC. PARTITIONS (NON-SEISMIC) SPACE TO BE RE-DIVIDED WITH NEW ~~FRM~~ MASTER MET. LATH & ~~PLASTER~~ PARTITIONS. ELECTRICAL & PLUMBING ALTERATIONS AND ADDITIONS. VENTILATION (FORCED) THROUGH EXISTING DUCT SPACE IN BUILDING. WORK WILL OCCUR ON 7TH FLOOR IN SUITE IN SECORNE

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Dr. Lewis T. Bullock - Wilshire Bldg Co. Owner
(Owner or Authorized Agent)
By Frank B. Wilson

FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING
Receipt No. 16268
Valuation $ 2500
Fee Paid $ 5.00

(2) REINFORCED CONCRETE
Bbls. Cement _____
Tons of Reinforcing Steel _____

FEES
Bldg. Per. 12.50
Cert. of Occupancy 2.00
Total 17.50

TYPE	GROUP	Alterations No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Front rear alley / Ft. side alley	Clerk
I	C				75x150		

PERMIT No.	Plans and Specifications checked	Zone C4	Fire District No. 1	District Map No. 4534
27118	Corrections Verified	Bldg. Line 5' Ft.	Street Widening Ft.	Stamp here when Permit is issued
	Plans, Specifications and Application returned and approved	Application checked and approved OCT 6 1966		
PLANS		Contractor Approved	REMARKS	
Date	Fire Plans Set	Plans with		

3

APPLICATION TO ALTER, REPAIR MOVE OR DEMOLISH

Form D-1
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

From Lot: | To Lot:
Tract: | Tract:

Present location of building: 3325 WILSHIRE BLVD. (House Number and Street)
New location of building: (House Number and Street)
Between what cross streets:

Approved by City Engineer
Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building: PROFESSIONAL BLDG. (Store, Dwelling, Apartment House, Hotel or other purpose) Families: Rooms:
2. State how long building has been used for present occupancy:
3. Use of building after alteration or moving: SAME Families: Rooms:
4. Owner: FARR & HALLIGUSTON A/C Phone: PE. 2525
5. Owner's Address: 3325 WILSHIRE BLVD. P. O. LOS ANGELES
6. Certificated Architect: FLOYD C. DIXON State: C-855 License No. C-497 Phone: PE. 9972
7. Licensed Engineer: State: License No. Phone:
8. Contractor: State: License No. Phone: TBA
9. Contractor's Address:
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire protection, electrical wiring and elevator equipment Costs or Excess): $ 1000.00
11. State how many buildings now on lot and give use of each: (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building: x Number of stories high: Height to highest point:
13. Material Exterior Walls: (Wood, Steel or Masonry) Exterior framework: (Wood or Steel)
14. Describe briefly all proposed construction and work:
Removal of some non-bearing partitions and installation of some temporary and non bearing partitions
2 hr. Fire
(No Structural Change)

NEW CONSTRUCTION

15. Size of Addition: x Size of Lot: x Number of Stories when complete:
16. Footings: Width: Depth in Ground: Width of Wall: Size of Floor Joists: x
17. Size of Studs: 2 x Material of Floor: Size of Rafters: x Type of Roofing:

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here: (Owner or Authorized Agent)
By: [illegible]

FOR DEPARTMENT USE ONLY

(1) Plan Checking: Receipt No. 952; Valuation 1000; Fee Paid 2.00
(2) REINFORCED CONCRETE: Bbls. Cement; Tons of Reinforcing Steel
(3) The building referred to in this Application will be more than 100 ft. from Street
Sign here: Owner or Authorized Agent

TYPE	GROUP	Occupancy	Legally Lot	Key Lot / Corner Lot Keyed	Lot Size	Feet rear alley / Ft. side alley
II	51					

PERMIT No.	Plans and specifications checked	Zone C-4	Fire District No. 2	District Map No.
255	Corrections Made	Bldg. Line — Ft.	Street Widening — Ft.	Fee: Bldg. Inst. when Permit is issued
	Plans, specifications and Application Adequate and approved	Applicants checked and approved	Clerk	
PLANS		Continuous Inspection	SPECIAL: Specified—Required; Valuation Included; Fee—No	Temporary
Sent	Fee Paid	Filed with		

Salution heard at [illegible] of [illegible]
Salution two light [illegible] [illegible]
on [illegible]

3

APPLICATION TO ALTER, REPAIR MOVE OR DEMOLISH

Form 93
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

From Lot: | To Lot:
Tract: | Tract:

Present location of building (Street Number and Street): 3875 Wilshire Blvd.
New location of building (Street Number and Street):
Between what cross streets: St. Andrews - Manhattan

Approved by City Engineer
Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building Stores - Offices (Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms
2. State how long building has been used for present occupancy 15 years
3. Use of building AFTER alteration or moving same Families Rooms
4. Owner Wilshire Bldg. Co. Phone
5. Owner's Address 3875 Wilshire Blvd. (Street) L.A. (City)
6. Certificated Architect — State License No. Phone
7. Licensed Engineer — State License No. Phone
8. Contractor Joe O'Reilly State License No. 7719 Phone CR 13500
9. Contractor's Address 3219 Huntoldt St.
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and devices, equipment thereto or dispensed) $900.00
11. State how many buildings NOW on lot and give use of each. 1 Stores - Offices (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 70 x 125 Number of stories high 13 Height to highest point 160
13. Material Exterior Walls (Wood, Steel or Masonry) Exterior finishwork (Wood or Stucco)
14. Describe briefly all proposed construction and work:
ROOM 1207, 12 FLOOR.
Installing 40 sq. ft. of 4" hollow tile wire lathing partitions 9'-3" high.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here: Joe O'Reilly (Owner or Authorized Agent)
By

FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING: Receipt No. 1254; Valuation $ 900; Fee Paid $ 2.00
(2) REINFORCED CONCRETE: Min. Cement; Type of Reinforcing Steel
(3) The building referred to in this Application will be more than 100 ft. from Street. Sign here: (Owner or Authorized Agent)

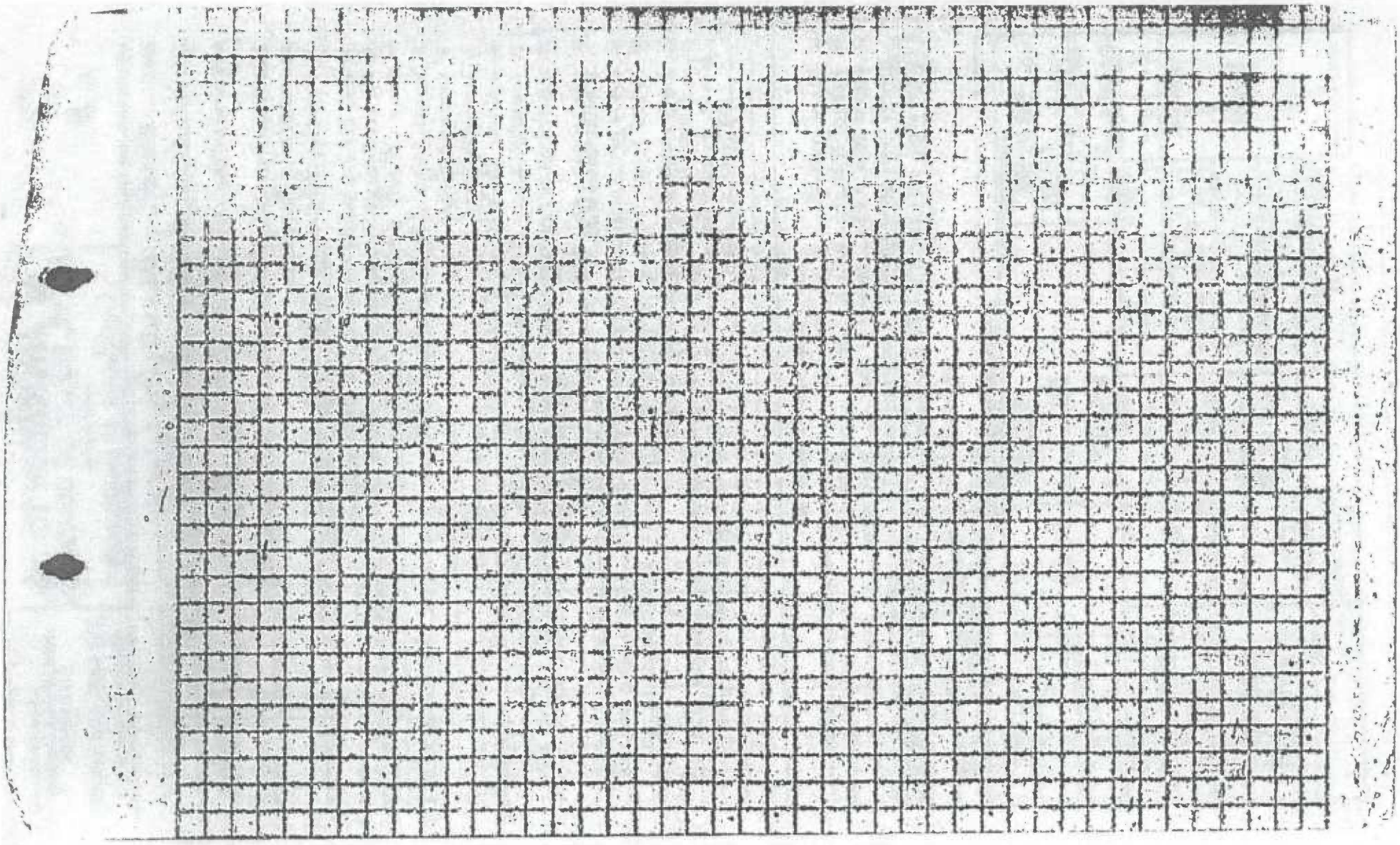
TYPE I | GROUP G1 | Corner Lot | Lot No. 1 | Block

PERMIT No. 3095 | Plans approved Robins | Date 2-4 | File No. 1 | Block

Corrections required Robins | Bldg. Line ft. | Street Widening ft. | Fee $ 2.00

Plans, specifications and application approved W. Fechenbach | Issuing Inspector when Permit is issued 2-20-64

PLANS | Date | Plans filed for Bldg. Dept. | Plans filed for Plan Chk. | Approved—Required Valuation Indicated Fee—$ | Signature



3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES
DEPARTMENT OF
BUILDING AND SAFETY,
BUILDING DIVISION

Lot No. [redacted] - Block 6.

Tract Westmoreland Place - S-55½' of Lot 16

Location of Building 3975 Wilshire Blvd.
(Street Number and Street)

Between what cross streets Manhattan & St. Andrews

Approved by City Engineer

Deputy

INK OR INDELIBLE PENCIL

1. Present use of building Office Bldg. Families — Rooms —
(Store, Dwelling, Apartment Rooms, Hotel or other purpose)
2. State how long building has been used for present occupancy
3. Use of building AFTER alteration or moving M.D. Offices Families — Rooms —
4. Owner E. P. Halliburton Phone
5. Owner's Address 1709 W. Eighth St. P.O. Los Angeles 14
6. Certificated Architect State License No. Phone
7. Licensed Engineer State License No. Phone
8. Contractor Andrews & Warriner State License No. 84391 Phone 972-1847
9. Contractor's Address 2124 W. Commonwealth, Alhambra
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, electrical work, etc. complete in place at destination) $ 850.00
11. State how many buildings NOW on lot and give use of each. (Store, Dwelling, Apartment Rooms, Hotel or other purpose)
12. Size of existing building 150 x 75 Number of stories high 13 Height to highest point 160'
13. Material Exterior Walls Masonry (Wood, Steel or Masonry) Exterior trimwork — (Wood or Steel)
14. Describe briefly all proposed construction and work:
Remove 35' of existing partitions & install 24' of new partitions for the purpose of combining two existing suites.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Stud 2"x4" Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Wilshire Prof. Bldg.

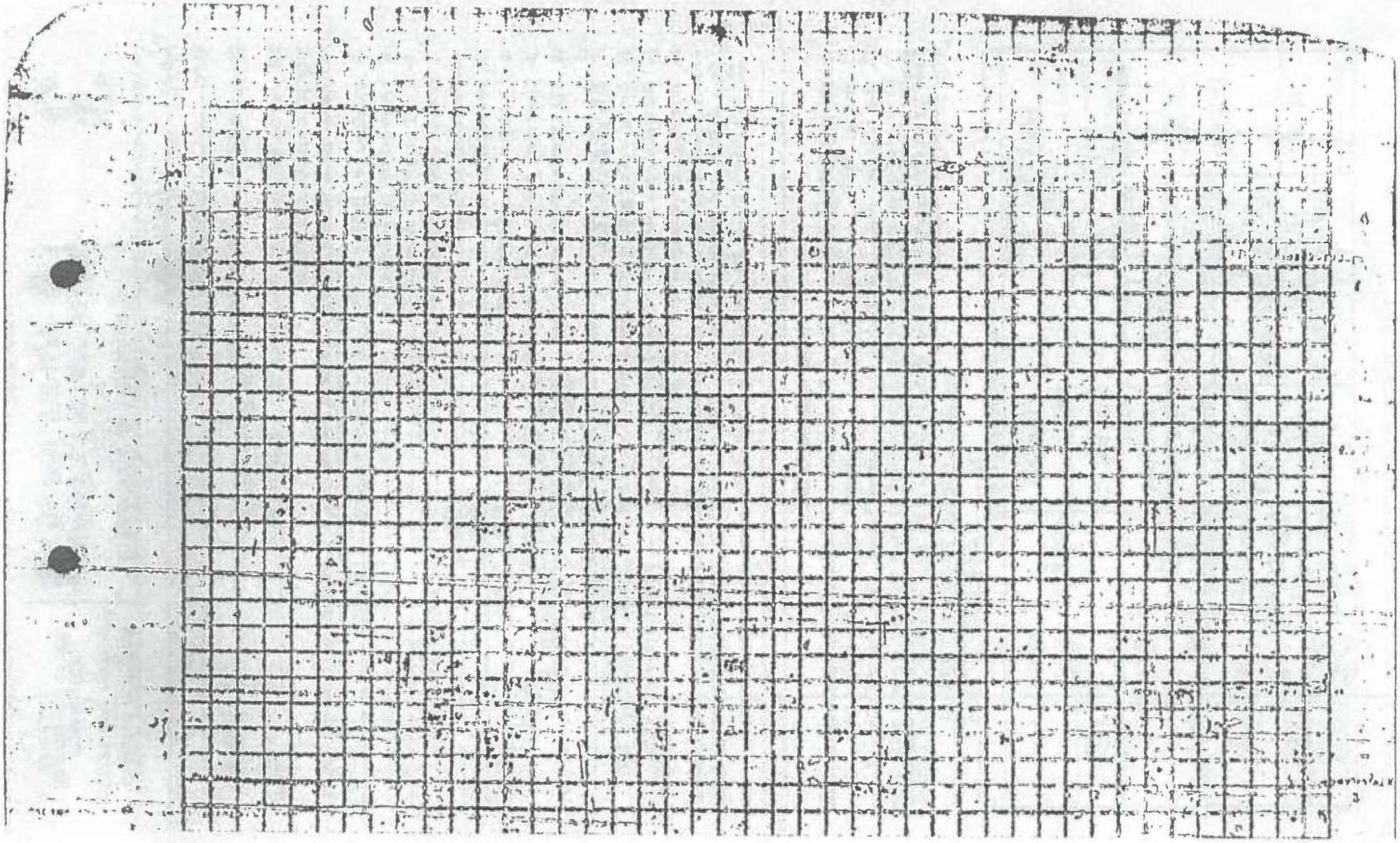
By [redacted]

FOR DEPARTMENT USE ONLY

PLAN CHECKING	REINFORCED CONCRETE	FEES
Date MAY 22 [redacted]	Bldg. Permit	Bldg. Fee $5.50
Receipt No. 5439	Concrete	Cert. of Occupancy
Valuation $ 850.00	Time of Bldg. Serving Sheet	Total $5.50
Fee Paid $ 2.50		

TYPE	GROUP	Assessor's Lot Complete	Assessor's Lot Complete Lot	Map Lot Partial Lot Filed	Lot Size	Front Yard Side Yard Rear Yard	Grade
I	6-1						

PERMIT No.	Plans and Specifications checked	Map C-1	Fire District No. 7	Permit Map No.
9758	Operation Verified	Bldg. Line 11'	Report Wiring	
PLANS	Plans, Specifications and Application approved and processed	Application approved and signature MAY 22 [redacted]		Permit issued to Issue MAY 22 [redacted]
			Valuation Approved	



3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-1-1061-6-61
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. Lot 16, Blk 6

Tract Westminster Place Tract

Location of Building 3875 Wilshire Blvd. (Street Number and Street)

Between what cross streets So. St. Andrews Pl. & Wilshire Blvd.

Approved by City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Medical & Dental Offices (Store, Dwelling, Apartment House, Hotel or other purpose) Families x Rooms x
2. State how long building has been used for present occupancy 18 yrs.
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner Erle F. Halliburton, Trustee (Print Name) Phone FA. 2345
5. Owner's Address 1709 West 8th St. P. O. Los Angeles 14, Calif.
6. Certificated Architect State License No. Phone
7. Licensed Engineer State License No. Phone
8. Contractor Edward Booher State License No. 15045 Phone Ja. 0662
9. Contractor's Address 6705 Loma Vista Dr., Bell, California
10. VALUATION OF PROPOSED WORK (Including all labor and material entail permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment thereto or thereon.) $500.00
11. State how many buildings NOW on lot and give use of each. One (1) - Medical-Dental Building (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building: 80 x 150 Number of stories high 13 Height to highest point 150'
13. Material Exterior Walls Reinforced concrete (Wood, Steel or Masonry) Exterior framework Steel (Wood or Steel)
14. Describe briefly all proposed construction and work:

To increase working area for Doctor in #103 by adding the area #102 vacated by a dentist and remodelling the area #102 so that it is useful for medical purposes. The two suites are to be connected by inside door.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here WILSHIRE PROFESSIONAL BUILDING (Owner or Authorized Agent)

By Jack H. Waring

FOR DEPARTMENT USE ONLY

PLAN CHECKING
Date MAY 29 1947
Receipt No. 588
Valuation $ 500
Fee Paid $ 1.00

REINFORCED CONCRETE
Bbls. Cement
Tons of Reinforcing Steel

FEES
Bldg. Per.
Cert. of Occupancy
Total 3.00

TYPE	GROUP	Occupancy No.	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Line	Feet rear alley / Ft. side alley	Clerk
1	G						

Permit No. 20039

Plans and Specifications checked

Zone C+4

Fire District No. 4

District Map No. 6584

Bldg. Line ft. ft.

Street Widening ft.

Contractor Verified

Application checked and approved MAY 28 1947 Clerk

Stamp here when Permit is issued MAY 29 1947

Plans, applications and Application checked and approved

PLANS

Part

Fee Plans Sent

Filed with

Construction Inspection

SPRINKLER
Sprinkler Required
Valuation included
Tag

Inspector Tatman

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-3-Mol-Ad
CITY OF LOS ANGELES
DEPARTMENT OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. Lot 16, Blk G

Tract Westminster Pl. Tract

Location of Building 3875 Wilshire Blvd. (Street, Number and Street)

Between what cross streets So. St. Andrews Pl. & Wilshire Blvd.

Approved by City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Medical & Dental Offices (Store, Dwelling, Apartment House, Hotel or other purpose) Families X Rooms X
2. State how long building has been used for present occupancy 18 yrs.
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner Erle F. Halliburton, Trustee (Print Name) Phone Fa. 7315
5. Owner's Address 1709 West 8th St. P. O. Los Angeles 14, Calif. (State)
6. Certificated Architect License No. State Phone
7. Licensed Engineer License No. State Phone
8. Contractor Edward Bodner License No. 15065 State Phone Ja. 0662
9. Contractor's Address 6706 Loma Loma Vista Dr., Bell, California
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.) $500.00
11. State how many buildings NOW on lot and give use of each. One (1) - Medical - Dental Offices (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building x Number of stories high 13 Height to highest point
13. Material Exterior Walls Reinforced concrete (Wood, Steel or Masonry) Exterior framework Steel (Wood or Steel)
14. Describe briefly all proposed construction and work:

To combine two small suites into one larger suite, so that the space may be useful and suitable for professional use of tenant. One wall is to be removed; one wall to have an insert of glass brick for light purposes; one doorway not used to be filled and another door cut thru to connect the two suites. 303 - 304

303 - 4

NEW CONSTRUCTION

15. Size of Addition 40x40 Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here WILSHIRE PROFESSIONAL BUILDING (Owner or Authorized Agent)

By Fred H. Wing Mgr.

FOR DEPARTMENT USE ONLY

PLAN CHECKING

Date MAY 25 1967

Receipt No. 5304

Valuation $ 500.00

Fee Paid $ 1.00

REINFORCED CONCRETE

Bbls. Cement

Tons of Reinforcing Steel

FEES

Bldg. Per.

Cert. of Occupancy

Total 7.50

TYPE	GROUP	Occupancy	Zone	Key Lot	Lot Size	Front yard / Rear yard	Check
I	G						

PERMIT No.	Plans and Specifications checked	Zone	Fire District	Plotted Map No.
20040		C-4	No. 1	4584

Dwelling Vestibule

Plans, Specifications and Application Indexed and approved

Bldg. Line Street Widening

Approved Chief

Check Sheet when Permit is Issued

MAY 29 1967

PLANS

Zone

For Plans See

Plan No.

Certificate Required

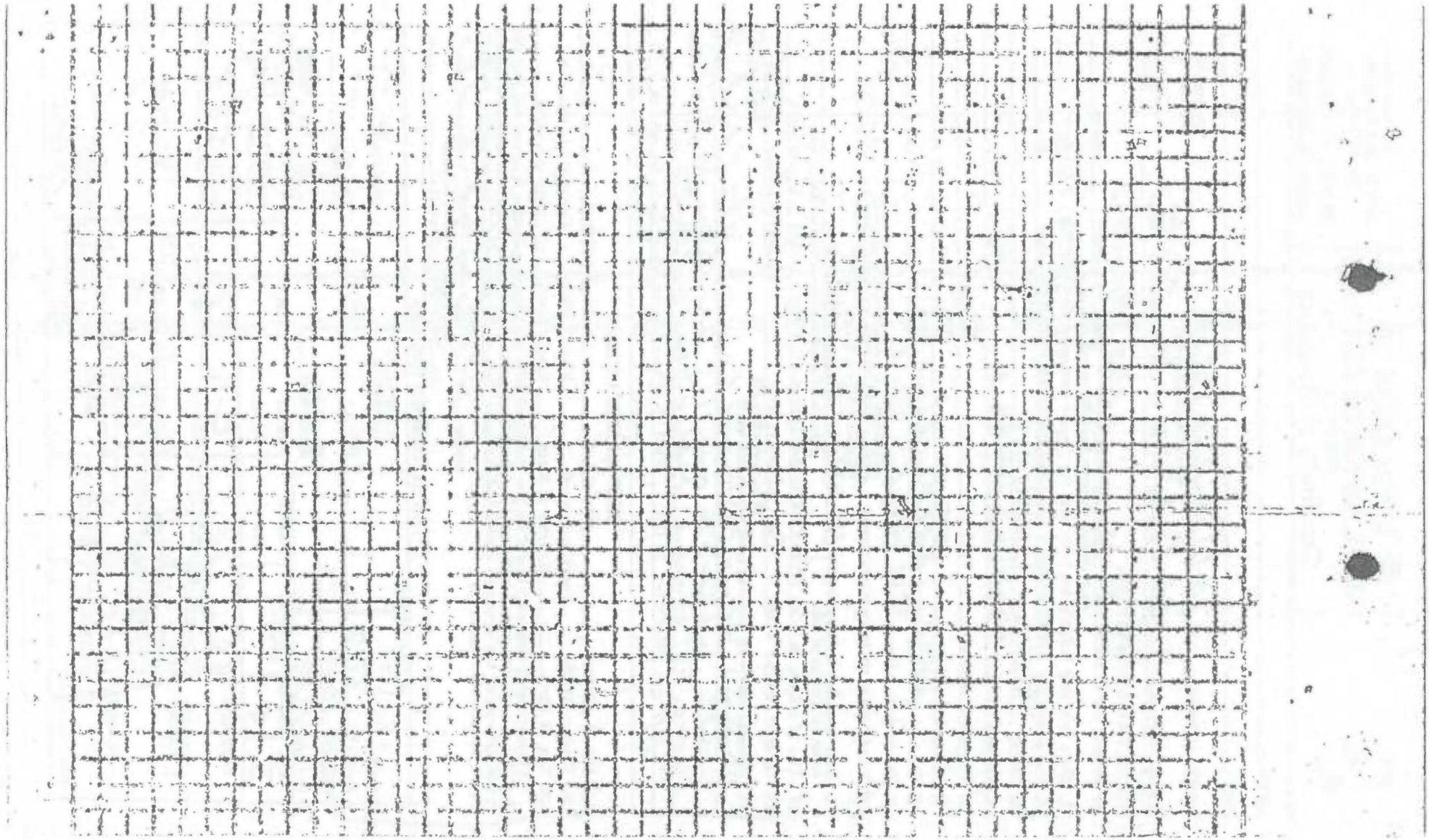
SPRINKLER

Specified - Required

Application Submitted

Type - No.

Inspector



3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form No. 1-[illegible]-4-67
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. _____

Tract _____

Location of Building 3875 Wilshire Blvd. (Street Number and Street)

Between what cross streets St. Andrews & Westlake

Approval by City Engineer _____ Deputy _____

USE INK OR INDELIBLE PENCIL

(Rm. 1105)

1. Present use of building Commercial Bldg. (Store, Dwelling, Apartment Room, Hotel or other purpose) Families _____ Rooms _____
2. State how long building has been used for present occupancy approx. 14 yrs.
3. Use of building AFTER alteration or moving Doctor's Office Families _____ Rooms _____
4. Owner PRESTON S. WRIGHT (Print Name) Phone _____
5. Owner's Address 3875 Wilshire Blvd. P.O. Box _____
6. Certificated Architect _____ State License No. _____ Phone _____
7. Licensed Engineer _____ State License No. _____ Phone _____
8. Contractor Hopkins and Chandler State License No. _____ Phone _____
9. Contractor's Address 3833 Wilshire Blvd.
10. VALUATION OF PROPOSED WORK (Including all labor and skilled and all permanent material, heating, ventilating, water, gas, plumbing, fire sprinkler, electrical, mechanical, elevator, escalator, dumbwaiter, etc.) $ 100.00
11. State how many buildings NOW on lot and give use of each. 13 story office bldg. (Store, Dwelling, Apartment Room, Hotel or other purpose)
12. Size of existing building 140 x 150 Number of stories high 13 Height to highest point _____
13. Material Exterior Walls masonry (Wood, Brick or Masonry) Exterior framework steel (Wood or Steel)
14. Describe briefly all proposed construction and work: Construct three (3) 2000 l. gal. steel & plate tanks, underneath one (1) [illegible] & [illegible] approx. 16' in new wall & [illegible] & [illegible] all in Rm. 1105, No structural changes.

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footings: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Hopkins and Chandler (Signature of Owner or Authorized Agent)

By _____

FOR DEPARTMENT USE ONLY

PLAN CHECKING				FEES	
Date 1-31		REINFORCED CONCRETE		Bldg. Per.	6.00
Receipt No. 7745		Bldg. Cement		Cert. of Occupancy	—
Valuation $ 100.00		Tons of Reinforcing Steel		Total	6.00
Fee Paid 12.00					

TYPE	GROUP	Building No. Occupancy	Inside Lot / Corner Lot	Key Lot / Corner Lot Reqd	Lot Size	Front zone clear / Side zone clear	Check
I	G-1						

PERMIT No.	Plans and Specifications checked	Zone C-4	Area District 1	Building Line
17380	Donald Bellows	Bldg. Line ft.	Street Widening ft.	Map No. 4584
	Structural Section Donald Bellows	Applicants checked and approved Kelly		Change Zone when Permit is issued
PLANS	Plans, Specifications and Application checked and approved. W. H. Chetta		Check	
Bond	Fee Paid Sec. Filed with		Inspector Foundation Inspected Framing Inspected Final	Inspector Fatmac

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form 3-3-[illegible]
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. _____

Tract _____

Location of Building 3875 Wilshire Blvd (Street Number and Street)

Between what cross streets St. Andrews & Manhattan Place

Approved by City Engineer _____ Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Office Bldg (Store, Dwelling, Apartment House, Hotel or other purpose) Families — Rooms 100
2. State how long building has been used for present occupancy 45 yrs
3. Use of building AFTER alteration or moving Same Families — Rooms 100
4. Owner Wilshire Parkmanor Bldg (Print Name) Phone
5. Owner's Address 3875 Wilshire P. O.
6. Certificated Architect Georgia Gonzales State License No. [illegible] Phone
7. Licensed Engineer None State License No. Phone
8. Contractor Not 1st Name State License No. Phone
9. Contractor's Address
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent heating, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment thereto or thereon) $ 7500=
11. State how many buildings NOW on lot and give use of each. 1 Office Bldg (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building [illegible] Number of stories high 8 Height to highest point 100'
13. Material Exterior Walls Masonry (Wood, Steel or Masonry) Exterior framework Steel (Wood or Steel)
14. Describe briefly all proposed construction and work: Remove office suite on 3rd fl. Remove exist. non-bearing partitions. Add new non-bearing partitions. Install new non-bearing gypsum block partitions.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Signed Wilshire Parkmanor (Owner or Authorized Agent)

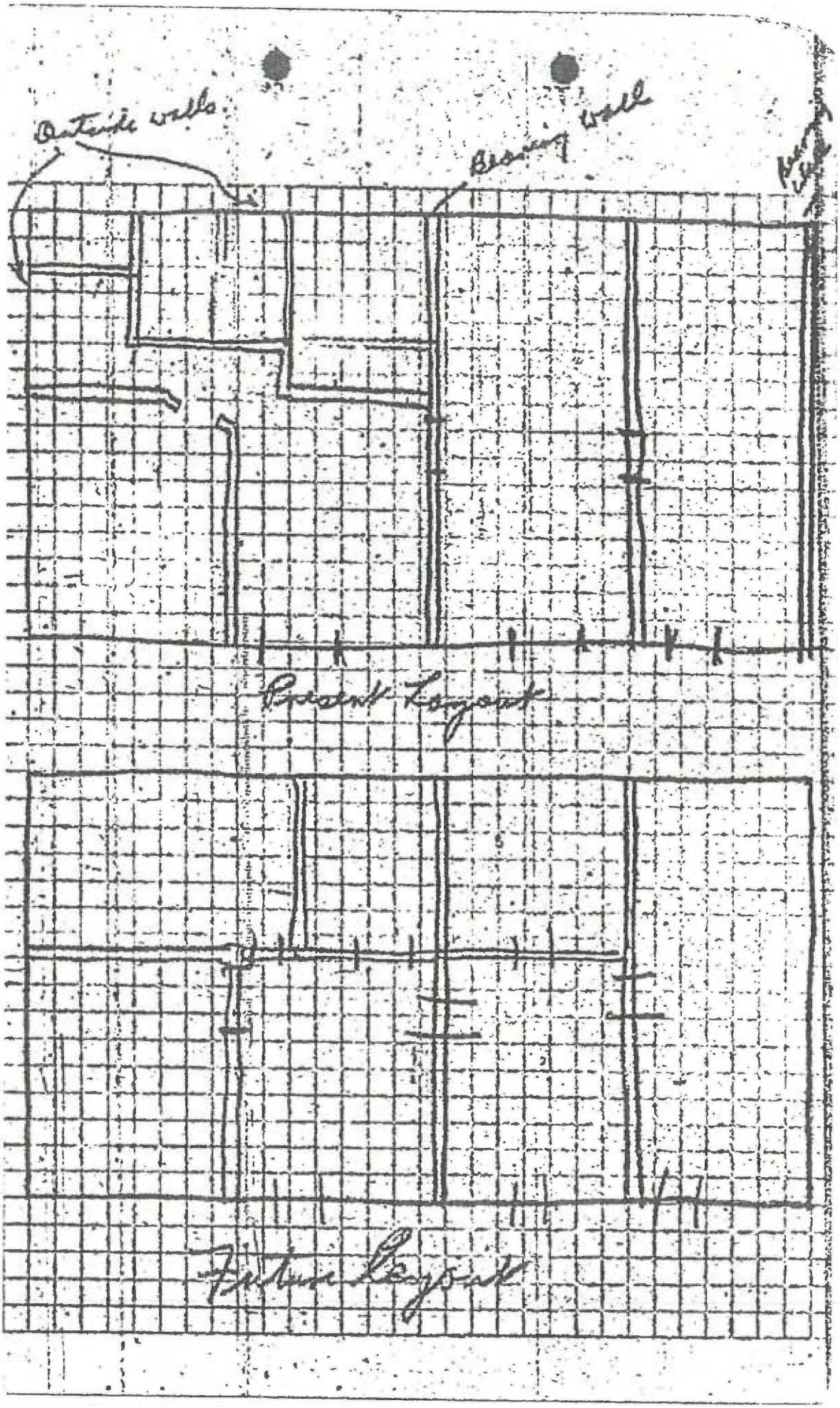
DISTRICT OFFICE _____ By [illegible]

FOR DEPARTMENT USE ONLY

PLAN CHECKING	REINFORCED CONCRETE	FEES
Date 1-6-51	Bldg. Cement	Bldg. Per
Receipt No. 414	Tests of Reinforcing Steel	Cert. of Occupancy
Valuation $ 7500=		Total 25.50
Fee Paid $ 15.00		

TYPE	GROUP	Reference to Occupancy	Corner Lot	Key Lot / Corner Lot Record	Lot Size	Fire Zone / Ft. side alley	Clerk
1	G				No Legal		

PERMIT No.	Plans and Specifications checked	Area	Fire District	District Map No.
LA 902	[illegible]	C 9	Light	4584
	Construction Verified [illegible]	Bldg. Line 5 Ft.	Street Widening Ft.	
	Plans, Specifications and Application approved and approved [illegible]	Application checked and approved Paley JAN 21 1948	Check	Permit issued JAN 21 1948
PLANS		Completed Inspected	SPRINKLER Required—Required Valuation Included	Inspector [illegible]
Back	For Plans See	Filed with		


Outside walls
Bearing wall
Present Layout
Future Layout

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH
AND FOR A
Certificate of Occupancy

Form D-1-[illegible]
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. _____

Tract _____

Location of Building: 3875 Wilshire Blvd (Street Number and Street)

Between what cross streets: Manhattan & St. Andrews

Approved by City Engineer _____ Deputy _____

USE INK OR INDELIBLE PENCIL

1. Present use of building: OFFICE (Store, Dwelling, Apartment House, Hotel or other purpose) Families _____ Rooms 9
2. State how long building has been used for present occupancy: [illegible]
3. Use of building AFTER alteration or moving: [illegible] Families _____ Rooms [illegible]
4. Owner: Earle Halliburton Phone _____
5. Owner's Address: 1705 W. 8th (Print Street) P. O. Los Angeles
6. Certificated Architect _____ State License No. _____ Phone _____
7. Licensed Engineer _____ State License No. _____ Phone _____
8. Contractor: Hamilton-Dougherty Inc. State License No. 94026 Phone Br 2-3[illegible]
9. Contractor's Address: 416 So. Beverly Dr. Beverly Hills
10. VALUATION OF PROPOSED WORK (Including all labor and materials and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, elevators, wiring and electric equipment, furnish or thereon) $ 3,000.00
11. State how many buildings NOW on lot and give use of each: 1 - Freestanding Office (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building _____ x _____ Number of stories high 12 Height to highest point 125'
13. Material Exterior Walls: Masonry & Steel (Wood, Stucco or Masonry) Interior framework: Steel (Wood or Steel)
14. Describe briefly all proposed construction and work:

Remove approx. 25'± existing partitions and install approx. 20' of new partitions. All new partitions to be of 2" steel studs covered with metal lath and plaster.

NEW CONSTRUCTION

15. Size of Addition _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

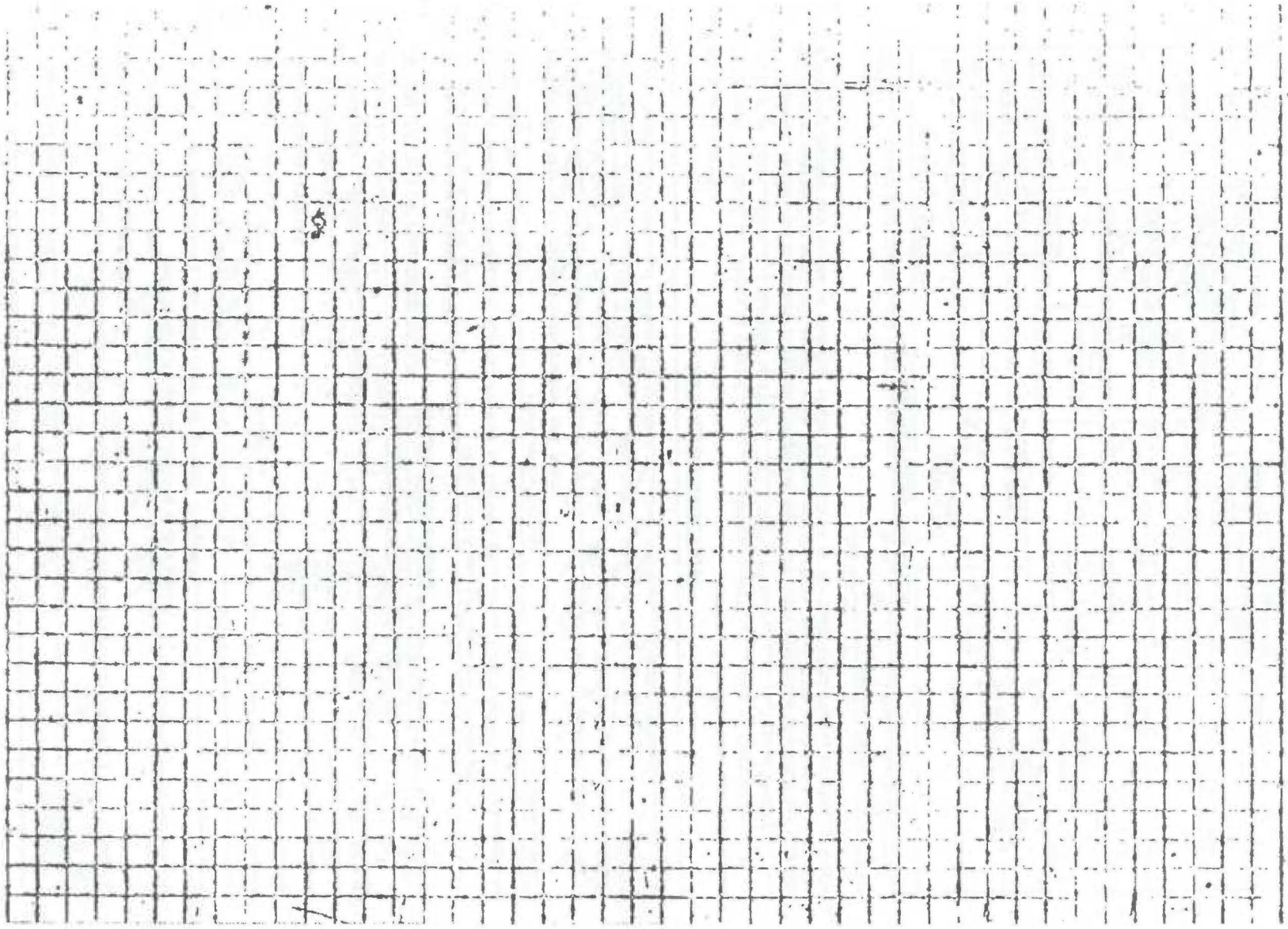
I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here: Wilshire Professional Building
Owner or Agent
By [illegible] 11/4/78

FOR DEPARTMENT USE ONLY

PLAN CHECKING		REINFORCED CONCRETE	FEES	
Date: 11-4-78		Mix:		Bldg. Fee:
Receipt No.: 15793		Cement:		Cert. of Occupancy:
Valuation $: 3,000		Type of Rebar Bending Bond:		Total: $2.00
Fee Paid $: 5.00				

Zone: I	Block: 8	Subdivision No. Occupancy	Block: Lot: Corner Lot	Zone: Lot Lines: Corner Lot Legal	Lot Size: See legal	Front zone other / Rear zone other / Corner: Flow
Permit No.: 35470		Plan and Specifications Checked: Flow		Size: C-4	Fire District: 1	Plumbing Map No.: 4584
		Structural Checked: Flow		Bldg. Line: ft.	Street Widening: ft.	
		Plan, Specifications and Application Checked and approved: [illegible]		Approved: Flow		Phone here when Permit is Issued: [illegible]
Plans: Sent:		File Plan No.	File Map	Approved:	Specifications Checked: Valuation Indicated: Yes — No	Recorded: [illegible]



3

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-3 CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING DIVISION

Lot No. 16 Blk. B.

Tract Westminster Place

Location of Building 3875 Wilshire Blvd (Room Number and Street)

Between what cross streets Manhattan and St. Andrews Place

Approved by City Engineer D. J. 2 Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Professional Office Bldg. Families ____ Rooms ____ (State, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy ____
3. Use of building AFTER alteration or moving ____ Families ____ Rooms ____
4. Owner Ed C. Carlisle Trustee (Print Name) Phone ____
5. Owner's Address 3875 Wilshire Blvd. P. O. ____
6. Certificated Architect ____ State License No. ____ Phone ____
7. Licensed Engineer ____ State License No. ____ Phone ____
8. Contractor Hamilton-Dougherty Inc State License No. 240 26 Phone Cr 22789
9. Contractor's Address 410 S. Beverly Drive Beverly Hills
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.) $ 5,000.00
11. State how many buildings NOW on lot and give use of each. 1 Office (State, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building ____ x ____ Number of stories high ____ Height to highest point ____
13. Material Exterior Walls ____ (Wood, Steel or Masonry) Exterior framework ____ (Wood or Steel)
14. Describe briefly all proposed construction and work: Remodel approx. 1000 sq ft of office space on the 6th floor. Remove some existing partitions, install some new partitions. Remove some cabinetry & install new new. Plumbing and electric fixtures.

NEW CONSTRUCTION

15. Size of Addition ____ x ____ Size of Lot ____ x ____ Number of Stories when complete ____
16. Footing: Width ____ Depth in Ground ____ Width of Wall ____ Size of Floor Joists ____ x ____
17. Size of Studs ____ x ____ Material of Floor ____ Size of Rafters ____ x ____ Type of Roofing ____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here ____ (Owner or Authorized Agent)

DISTRICT OFFICE ____ By W. E. Dougherty

FOR DEPARTMENT USE ONLY

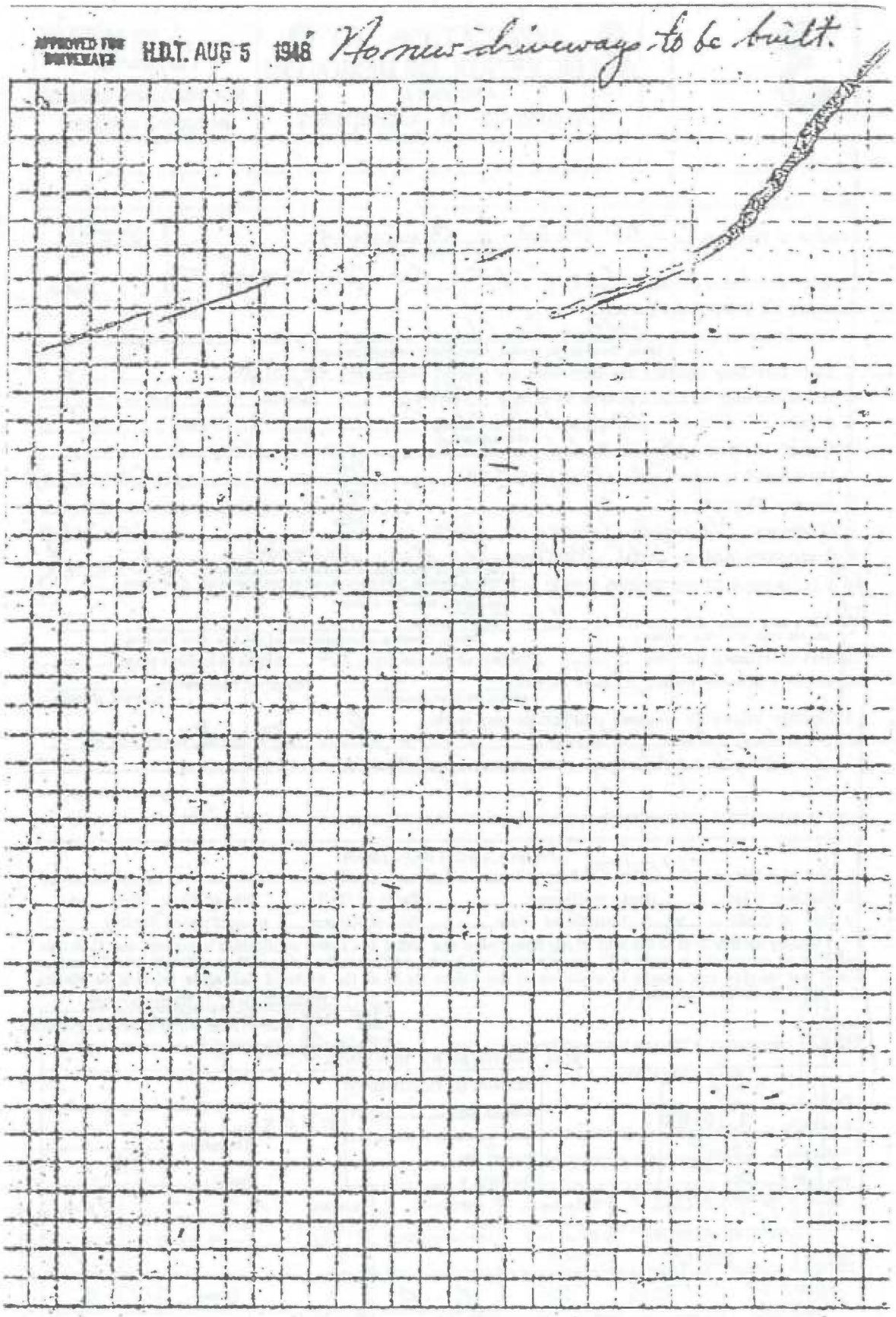
Date AUG 24 1970	PLANS CHECKING		REINFORCED CONCRETE	FEES	
Receipt No. 11045			Bbls. Cement		Bldg. Per
Valuation $ 5000			Tons of Reinforcing Steel		Cert. of Occupancy 10.00
Fee Paid $ 10.00					Total 10.00

TYPE	GROUP	Maximum No. Occupants	Inside Lot	Key Lot / Corner Lot Keyed	Lot Size	Ft. rear alley / Ft. side alley	Clerk
I	G-1	—	Corner Lot		95 x 135		

PERMIT No.	Plans and Specifications Checked	Zone	Fire District	District Map No.
LA 30045		C-4	No. 1	4524
	Calculations Checked	Bldg. Line ____ Ft.	Street Widening ____ Ft.	
	Plans, Specifications and Application Indexed and approved	Application checked and approved	Clerk	Stamp here when Permit is issued
PLANS				
Date ____	For Plumbing ____ Field work ____	Continuous Inspection None	SPRINKLER Sprinkler Required Valuation Included Yes ____ No	Inspector Coward

E 2247 Revoked 11-95 = Wilson

APPROVED FOR DRIVEWAYS H.D.T. AUG 5 1948 Home new driveways to be built.



3

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-1-XM-8-48
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. _____

Tract _____

Location of Building 3875 Wilshire Boulevard (House Number and Street)

Between what cross streets Cor. (NE) St Andrews

Approved by City Engineer _____ Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Office Building (Store, Dwelling, Apartment, Rooms, Hotel or other purpose) Families — Rooms _____
2. State how long building has been used for present occupancy 20 years
3. Use of building AFTER alteration or moving Same Families — Rooms _____
4. Owner Wilshire Medical Building (Print Name) Phone _____
5. Owner's Address 3875 Wilshire Blvd P.O. Los Angeles
6. Certificated Architect Spaulding & Rex State License No. — Phone DU 3393
7. Licensed Engineer _____ State License No. — Phone —
8. Contractor Vinnett Company Inc. State License No. Phone CU 3121
9. Contractor's Address 1145 Westminster Ave - ALHAMBRA
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment thereto or thereon) $ 1400.00
11. State how many buildings NOW on lot and give use of each 1 - Offices (Store, Dwelling, Apartment Rooms, Hotel or other purpose)
12. Size of existing building _____ x _____ Number of stories high 12 Height to highest point _____
13. Material Exterior Walls Concrete (Wood, Steel or Masonry) Exterior framework _____ (Wood or Steel)
14. Describe briefly all proposed construction and work:
Install pair Hercules Doors from Drug Store into Lobby replacing one existing door

NEW CONSTRUCTION

15. Size of Addition NONE Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here ~~Vinnett Company Inc.~~ Owner or Authorized Agent Wilshire Medical Building

DISTRICT OFFICE _____ By _____

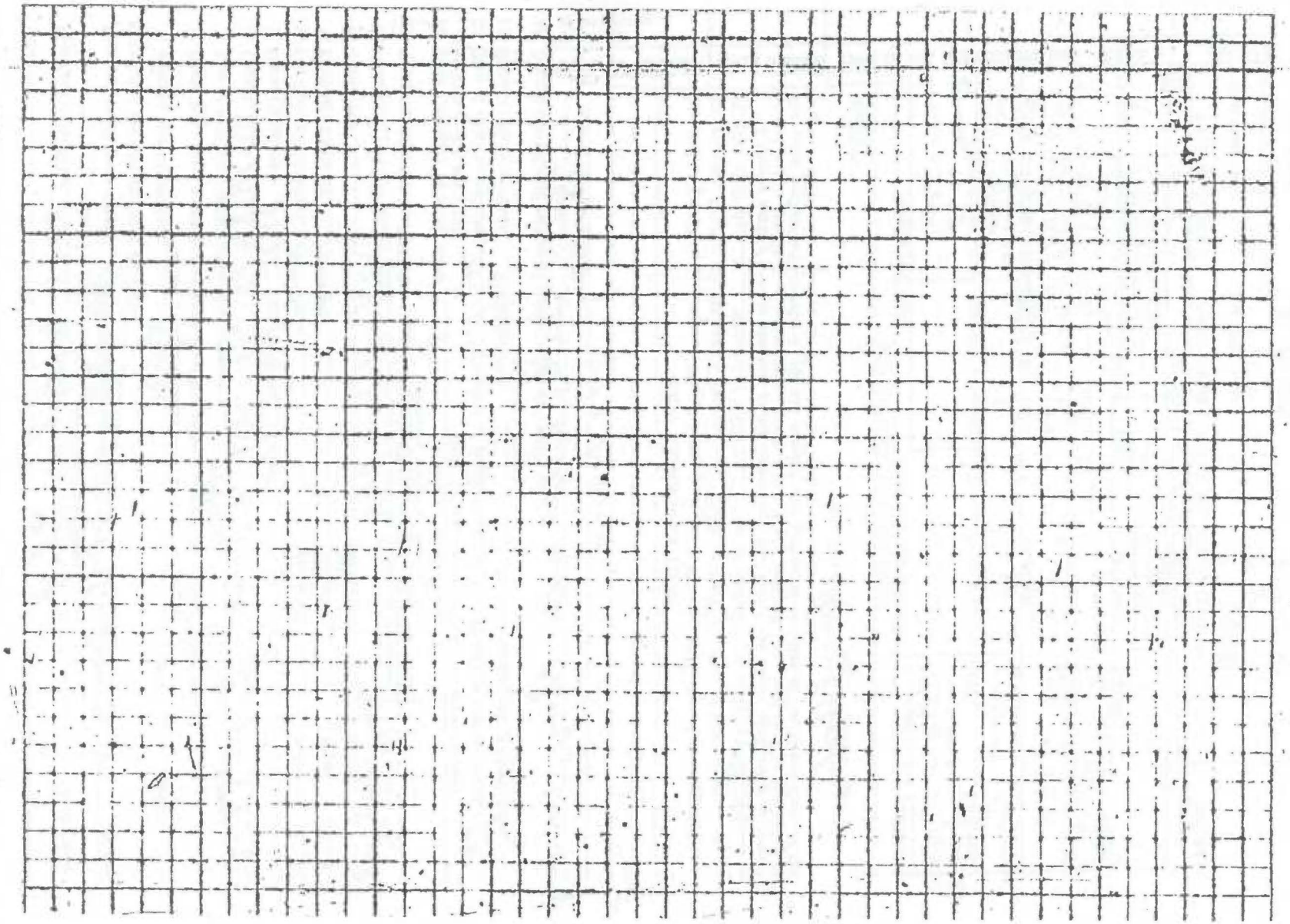
FOR DEPARTMENT USE ONLY

PLAN CHECKING	CHANGE OF OCCUPANCY	FEES	
Date JUL 25 1949	Area of Bldg. _____ Sq. Ft.		Bldg. Per. _____
Receipt No. 13408	Date _____		Cert. of Occupancy _____
Valuation $ 1400	Receipt No. _____		Total 7.00
Fee Paid $ 3	Fee Paid $ _____		

TYPE	GROUP	Maximum No. Occupants	Corner Lot	Key Lot	Lot Size	Ft. rear alley / Ft. side alley	Clerk
1	G-1			Corner Lot Keyed			

REINFORCED CONCRETE: Bldg. Code _____ Type of Reinforcing Steel _____

PERMIT No.	Plans and Specifications checked	Zone	Fire District	District Map No.
L428190		C-4	No. 1	4529
	Construction Verified	Bldg. Line 5 Ft.	Street Widening Ft.	
	Plans, Specifications and Application rechecked and approved	Application checked and approved	Clerk	Stamp here when Permit is issued JUL 25
PLANS				
Rated	For Plans See	Filed with	Construction Inspection NONE	SPRINKLER Sprinkler Required Valuation Included Yes — No	Inspector



3

APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES
DEPARTMENT of BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 15

Tract

Location of Building 3875 Wilshire Blvd. (House Number and Street)
N.E. cor. Wilshire & St Andrews
Between what cross streets

Approved by City Engineer
Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building Office (Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms
2. State how long building has been used for present occupancy 20 years
3. Use of building AFTER alteration or moving office Families Rooms
4. Owner WILSHIRE PROFESSIONAL BUILDING (Full Name) Phone DU. 3-2525
5. Owner's Address 3875 Wilshire Blvd P. O. LA
6. Certificated Architect None State License No. Phone
7. Licensed Engineer None State License No. Phone
8. Contractor Owner State License No. Phone
9. Contractor's Address 3875 Wilshire Blvd
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.) $ 74.00
11. State how many buildings NOW on lot and give use of each 1 office & store (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 75 x 150 Number of stories high 13 Height to highest point 150
13. Material Exterior Walls Masonry (Wood, Steel or Masonry) Exterior framework Concrete (Wood or Steel)
14. Describe briefly all proposed construction and work: Remove walls, install walls, change wiring and plumbing 9th floor

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall 7 Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Howard Brown (Owner or Authorized Agent)

DISTRICT OFFICE By

FOR DEPARTMENT USE ONLY

PLAN CHECKING		OCCUPANCY SURVEY	Investigation Fee $
Valuation $ 74.00		Area of Bldg. Sq. Ft.	Cert. of Occupancy Fee $
Fee 7.50		Fee $	Bldg. Permit Fee $ 1.50
			Total $ 1.50

TYPE	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Ft. rear alley / Ft. side alley	Clerk
I	No Change			75x150		
GROUP	Plans and Specifications checked		Zone C-4	Fire District No. I 100/25	District Map No. 4587	
Fire Plans Ref.	Correction Notice		Bldg. Line Wilshire 5 Ft.	Street Widening Ft.	Application checked and approved	
Filed with	Plans, Specifications and Application checked and approved		Continuous Inspection	SPRINKLER Specified—Required Valuation Included Yes—No	Inspector	

JUL 10 1975

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	JUL 10 1975		6694		
Supplemental Plan Checking					
Building Permit	JUL 10 1975		A12536		

[illegible]

APPLICATION TO ALTER, REPAIR OR DEMOLISH
AND FOR A
Certificate of Occupancy

Location of Building 3873 Wilshire Blvd (Street Number and Name)

Between what cross streets Normandie Pl. & S. Ardmore Pl.

Approved by City Engineer

Deputy

INK OR INDELIBLE PENCIL

1. Present use of building Stores & Offices (Store, Dwelling, Apartment House, Hotel or other purpose) Families — Rooms 1
2. State how long building has been used for present occupancy Prox. 25 yrs.
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner Department Officer Phone
5. Owner's Address 3873 Wilshire Blvd (Street Number) P. O. L. A.
6. Certificated Architect State License No. Phone
7. Licensed Engineer State License No. Phone
8. Contractor Thomas F. Mannon State License No. 106025 Phone GR 5-1276
9. Contractor's Address 8814 Beverly Blvd., Los Angeles
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment thereto or forming part thereof) $1000.00
11. State how many buildings NOW on lot and give use of each. A 16' x 43' Store Vacant (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 16' x 43' Number of stories high ONE Height to highest point
13. Material Exterior Walls Metal (Wood, Steel or Masonry) Exterior framework (Wood or Steel)
14. Describe briefly all proposed construction and work: Remove front portion of Store Building, where 2 ft. front setback Space Already is on Rodeo Road or Pl. Remove Store Element to Center, using wood app. Construct Partition Same walls of Store.

NOT A FOOD ESTAB

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Stuart Flynellan (Owner or Authorized Agent)

CONTRACT OFFICE By

FOR DEPARTMENT USE ONLY

PLAN CHECKING: Date; Receipt No.; Valuation $; Fee Paid $

REINFORCED CONCRETE: Bbls. Cement; Tons of Reinforcing Steel

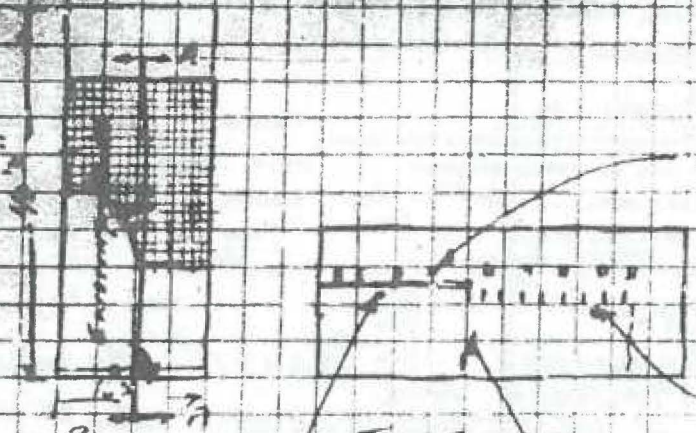
FEES: Bldg. Per.; Cert. of Occupancy; Total

Type	Group	Occupancy No.	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Front room alley / Ft. side alley	Class
IIIB	G		T				

Permit No.	Plans and Specifications checked	Zone	Fire District	District Map No.
413890		1	No. T	

Correction Notice	Bldg. Line	Street Widening	Stamp here when Permit is issued
	Ft.	Ft.	AUG 14

Plans: Polcah


2x6 Joist 24" O.C.
Existing Plaster Ceiling
1x8 Egg Crate Hung From New 2x6 Joist 24" O.C.
Plan
Side Elevation
Sheet Rock Ceiling Tape Joints Front Portion Only
Chicken Wire & Plaster over Existing Beams To Ht. of 10' @ Smokestack

3

APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

Form B-2
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. ____

Tract ____

Location of Building 3875 WILSHIRE BLVD. (House Number and Street) NE corner

Between what cross streets ST. ANDREWS & Wilshire

Approved by City Engineer ____ Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building OFFICE (Store Dwelling, Apartment House, Hotel or other purpose) Families ____ Rooms ____
2. State how long building has been used for present occupancy 20 yrs
3. Use of building AFTER alteration or moving same Families ____ Rooms ____
4. Owner E. C. HALLIBURTON (Print Name) Phone ____
5. Owner's Address 3875 Wilshire Blvd P. O. LA State
6. Certificated Architect ____ License No. ____ State ____ Phone ____
7. Licensed Engineer ____ License No. ____ State ____ Phone ____
8. Contractor FRED. S. MACOMBER License No. 12095 Phone BR 24607
9. Contractor's Address 3818 MELROSE AVE
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.) $ 500.00
11. State how many buildings NOW on lot and give use of each 75 x 150 (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building ____ x ____ Number of stories high 1 Height to highest point 15 ft.
13. Material Exterior Walls Concrete (Wood, Steel or Masonry) Exterior framework Reinf Concrete (Wood or Steel)
14. Describe briefly all proposed construction and work

DEMOLISH 23 LIN. FT. OF GYPSUM PLASTER WALL, AND ERECT 20 LIN. FT. OF STEEL STUD AND METAL LATH AND PLASTER WALL. FR. 607.

NEW CONSTRUCTION

15. Size of Addition ____ x ____ Size of Lot 75 x 150 Number of Stories when complete 1 ft
16. Footing: Width ____ Depth in Ground ____ Width of Wall ____ Size of Floor Joists ____ x ____
17. Size of Studs ____ x ____ Material of Floor ____ Size of Rafters ____ x ____ Type of Roofing ____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here Fred S. Macomber (Owner or Authorized Agent)

DISTRICT OFFICE ____ By ____

FOR DEPARTMENT USE ONLY

PLAN CHECKING		OCCUPANCY SURVEY	
Valuation $ 500.00 Fee $ 1.00		Area of Bldg. ____ Sq. Ft. Fee $ ____	Investigation Fee $ ____ Cert. of Occupancy Fee $ ____ Bldg. Permit Fee $ 3.50 Total $ ____

TYPE 1	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot size 75 x 150	Rear Alley / Ft. side alley / Clerk
GROUP	Plans and Specifications checked		Zone C-4	Fire District No. I 75/100	District Map No. 4584
Fire Plans Sec	Inspection Verified		Bldg. Line Wilshire 5 Ft.	Street Widening Ft.	Application checked and approved FEB 20 1951 Clerk
Filed with	Plans, Specifications and Application rechecked and approved		Concurrent Inspection	SPRINKLER Specified—Required Valuation Included Yes—No	Inspector

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	FEB 20 1951		LA 2643		
Supplemental Plan Checking					
Building Permit	FEB 20 1951		LA 4337	1	

3

APPLICATION TO ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-2
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 3875 Wilshire Blvd (House Number and Street)

Between what cross streets? St. Andrews and Manhattan

Approved by City Engineer

Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building office (Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms
2. State how long building has been used for present occupancy 20 years
3. Use of building AFTER alteration or moving office Families Rooms
4. Owner WILSHIRE PROFESSIONAL BUILDING (Print Name) Phone Ho 32525
5. Owner's Address 3875 Wilshire Blvd P. O. State
6. Certificated Architect License No State Phone
7. Licensed Engineer License No State Phone
8. Contractor owner License No State Phone
9. Contractor's Address
10. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment fixtures or thereon) $ 500.00
11. State how many buildings NOW on lot and give use of each 1 - office (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 60 x 150 Number of stories high 13 Height to highest point 150'
13. Material Exterior Walls Concrete (Wood, Steel or Masonry) Exterior framework (Wood or Steel)
14. Describe briefly all proposed construction and work: remove some walls, install new walls (7TH FLOOR)

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here (Owner or Authorized Agent)

DISTRICT OFFICE By

FOR DEPARTMENT USE ONLY

PLAN CHECKING		OCCUPANCY SURVEY	
Valuation $ 500		Area of Bldg. Sq. Ft.	Investigation Fee $
			Cert. of Occupancy Fee $
			Bldg. Permit Fee $ 1
Fee $		Fee $	Total $ 3.50

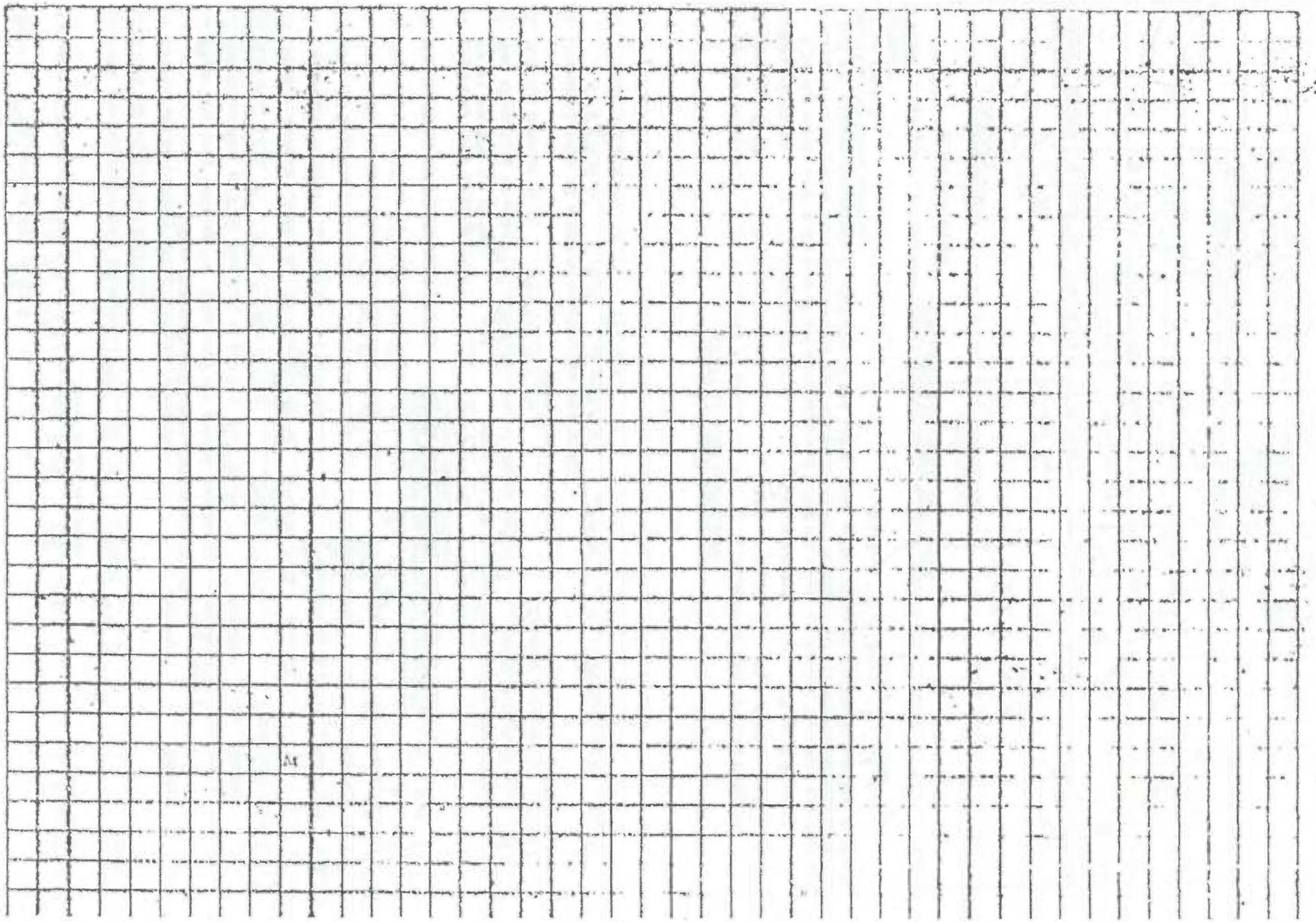
TYPE	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Reversed	Lot Size	Planner Sign / Ft. Alley	Clerk
1						
GROUP	Plans and Specifications checked		Zone C-4	Fire District No. 1	District Map No. 7275	
For Plans Sec	Correction Notices		Bldg. Line 5' Ft.	Street Widening Ft.	Application checked and approved	Clerk
Filed with	Plans, specifications and application returned and approved.		Continuous Inspection	SPRINKLER Required Required Valuation Bldg. Yes No	Inspector	

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	NOV 5 - 1951		LA12893		
Supplemental Plan Checking					
Building Permit	NOV 5 - 1951		LA21805		

Certificate of Occupancy Department of Safety

TYPE OF RECEIPT | DATE ISSUED | TRACER NO. (M) | RECEIPT NO. | CODE | FEE PAID



ELECT. DIV.
Dist. rec'd.
3
JR

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-6-BSE-1-48
CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 16 & 17 Block G

Tract Westminster Place

Location of Building 3875 WILSHIRE BLVD (House Number and Street) — Approved by City Engineer

Between what cross streets MANHATTAN & ST ANDREWS — Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building OFFICE BLDG (Store, Dwelling, Apartment House, Hotel or other purpose) Families ..... Rooms .....
2. State how long building has been used for present occupancy 25 YRS
3. Use of building AFTER alteration or moving SAME Families ..... Rooms .....
4. Owner ERLE P HALLIBURTON TRUSTEE Phone DU 3-2135
5. Owner's Address 3875 WILSHIRE BLVD P.O. LA
6. Certificated Architect JOHN REX State License No. C 3472 Phone DU 72393
7. Licensed Engineer ..... State License No. ..... Phone .....
8. Contractor William F. McDonald Co. State License No. 104870 Phone SE 92769
9. Contractor's Address 13350 Ventura Blvd No Hollywood
10. VALUATION OF PROPOSED WORK (Not along all labor and material for all permanent fixtures, built-in ventilation, water supply, plumbing, gas appliances, electrical wiring and elevator equipment therein or thereon) $15,000 Lynch
11. State how many buildings NOW on lot and give use of each. 1 OFFICE BLDG (Store, Dwg. Apartment House, Hotel or other purpose)
12. Size of existing building 150 x 60 Number of stories high 13 Height to highest point 125
13. Material Exterior Walls CONCRETE (Wood, Steel or Masonry) Exterior framework STEEL (Wood or Steel)
14. Describe briefly all proposed construction and work:
EXTEND THE LOBBY THRU TO PARKING LOT AT REAR OF BLDG

NEW CONSTRUCTION

15. Size of Addition ..... x ..... Size of Lot ..... x ..... Number of Stories when complete .....
16. Footing: Width ..... Depth in Ground ..... Width of Wall ..... Size of Floor Joists ..... x .....
Spacing of Studs ..... x ..... Material of Floor ..... Size of Rafters ..... x ..... Type of Roofing .....

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here [signature] (Owner or Authorized Agent)

By .....

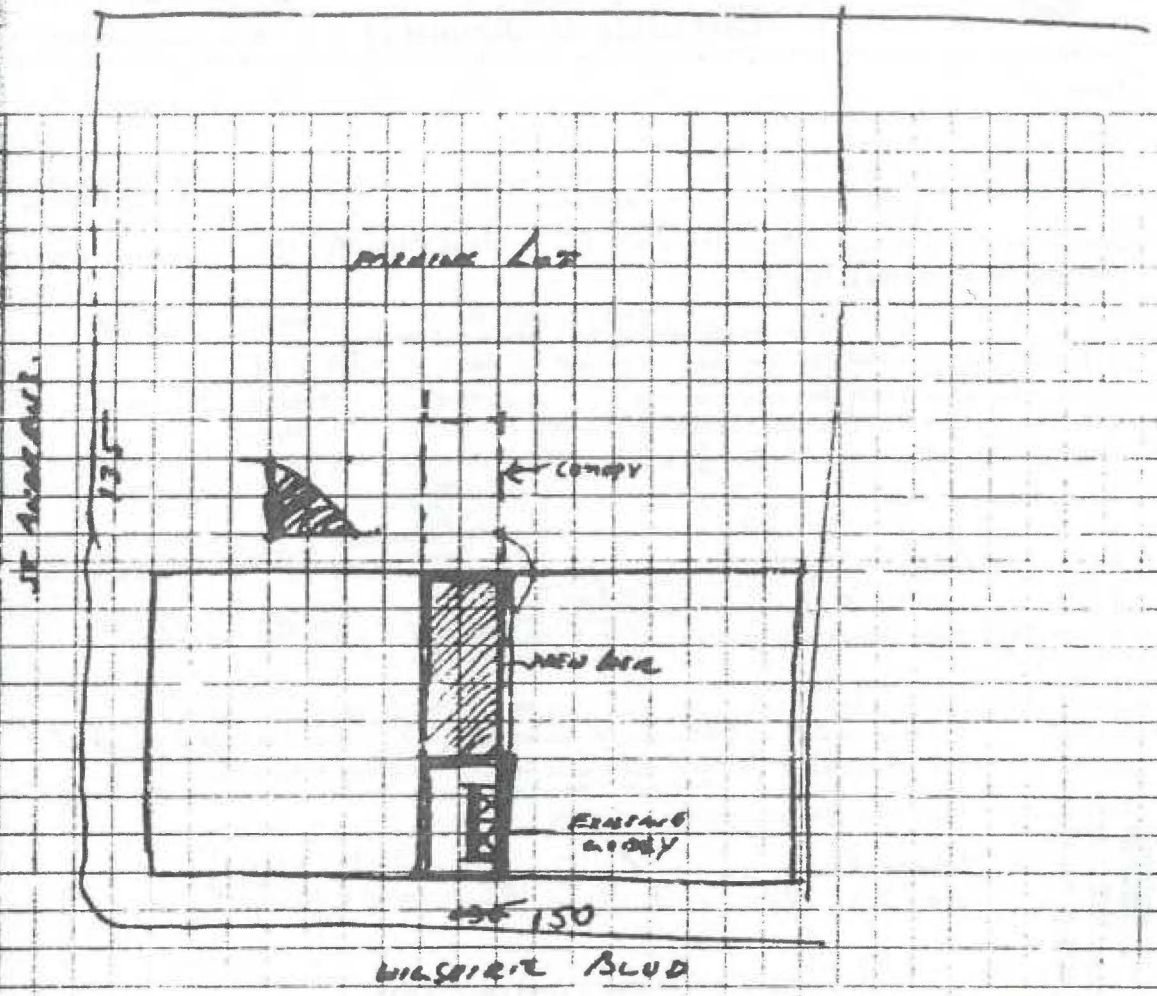
8-5-1952
DISTRICT OFFICE .....

FOR DEPARTMENT USE ONLY

PLAN CHECKING		REINFORCED CONCRETE	FEES	
Date SEP 23 52		Bldg. Cement		Bldg. Per.
Receipt No. LA 23968		Time of Reinforcing Steel		Cert. of Occupancy
Valuation $ 15,000				Total 48.00
Fee Paid $ 25.00				

TYPE	GROUP	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Ft. rear alley / Ft. side alley	Clerk
I	G	nc			135 X 150	/	Beth

PERMIT No.	Plans and Specifications checked	Zone	Fire District	District Map No.
LA 47685	[signature]	C-4	No. 1 70 100	4584
	Plumbing Water [signature]	Bldg. Line 5' Ft.	Street Widening — Ft.	NOV 13 52 Stamp here when Permit is issued
	Plans approved and approved [signature]	Application checked and approved [signature]	Clerk	
PLANS	Fire Prot. Div.		Inspector	Inspector
Quick		None		Wilkinson


PARKING LOT
135
CANOPY
NEW BLDG
EXISTING BLDG
150
WILSHIRE BLVD

3

APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

Number

CITY OF LOS ANGELES
DEPARTMENT OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No

Tract

Location of Building: 3875 Wilshire Blvd (House Number and Street)

Between what cross streets? St Andrews Pl & Manhattan Pl

Approved by City Engineer

Deputy

USE INK OR INDELIBLE PENCIL

1. Present use of building: Office Bldg (Store, Dwelling, Apartment House, Hotel or other purpose) Families Rooms
2. State how long building has been used for present occupancy 20 yrs
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner Wilshire Professional Bldg (Print Name) Phone
5. Owner's Address Wilshire Professional Bldgs P.O. L.A. Calif
6. Certificated Architect State License No Phone
7. Licensed Engineer State License No Phone
8. Contractor Specialty Contr Inc State License No 147100 Phone 383-5[illegible]
9. Contractor's Address 6019 So Manhattan Pl.
10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent fixtures, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon) $1500.00
11. State how many buildings NOW on this lot (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 50' x 150 Number of stories high 13 Height to highest point 150
13. Material Exterior Walls Reinforced Concrete (Wood, Steel or Masonry) Exterior framework (Wood or Steel)
14. Describe briefly all proposed construction and work:

Installing specialty Drywall Partitions as per Plans & Rec. on 13th floor.

TYPE OF REQUEST: Certificate of Occupancy Decorating

DATE ISSUED

TRACER NO.

PERMIT NO.

CODE

FEE PAID

NEW CONSTRUCTION

Valuation x Size of Lot x Number of Stories when complete

Footing Width Depth in Ground Width of Wall Size of Floor Joists x

Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Signature (Owner or Authorized Agent)

DISTRICT OFFICE

FOR DEPARTMENT USE ONLY

PLAN CHECKING	OCCUPANCY SURVEY	
Valuation $ Fee $	Area Sq. Ft. Fee $	Investigation Fee $ Cert. of Occupancy Fee $ Bldg. Permit Fee $ 7.50 Total $

Zone	Maximum No. Occupants	Inside Lot / Corner Lot	Key Lot / Corner Lot Keyed	Lot Size	Ft. rear alley / Ft. side alley	Clerk
GROUP	Plans and specifications checked		Zone	Fire District	District Map No.	
Fire Flow Req.	Certificate of Occupancy issued		Bldg. Line	Street Widening	Certification checked and approved	
Fire Hydrant	Plans approved, checked, Application received		Continuous Inspection	SPRINKLER Specified—Required Valuation Included Yes—No	Inspector	

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M.	RECEIPT NO.	CODE	FEE PAID
Plan Checking			LA 60537		
Supplemental Plan Checking					
Building Permit			LA 17001		

3875 Wilshire Boulevard
Photographs

Wilshire Professional Building, 3875 Wilshire Boulevard, April 5, 2007

Wilshire Professional Building, 3875 Wilshire Boulevard, , 2011, Google Earth

Wilshire Professional Building, 3875 Wilshire Boulevard, 1930 and 2010

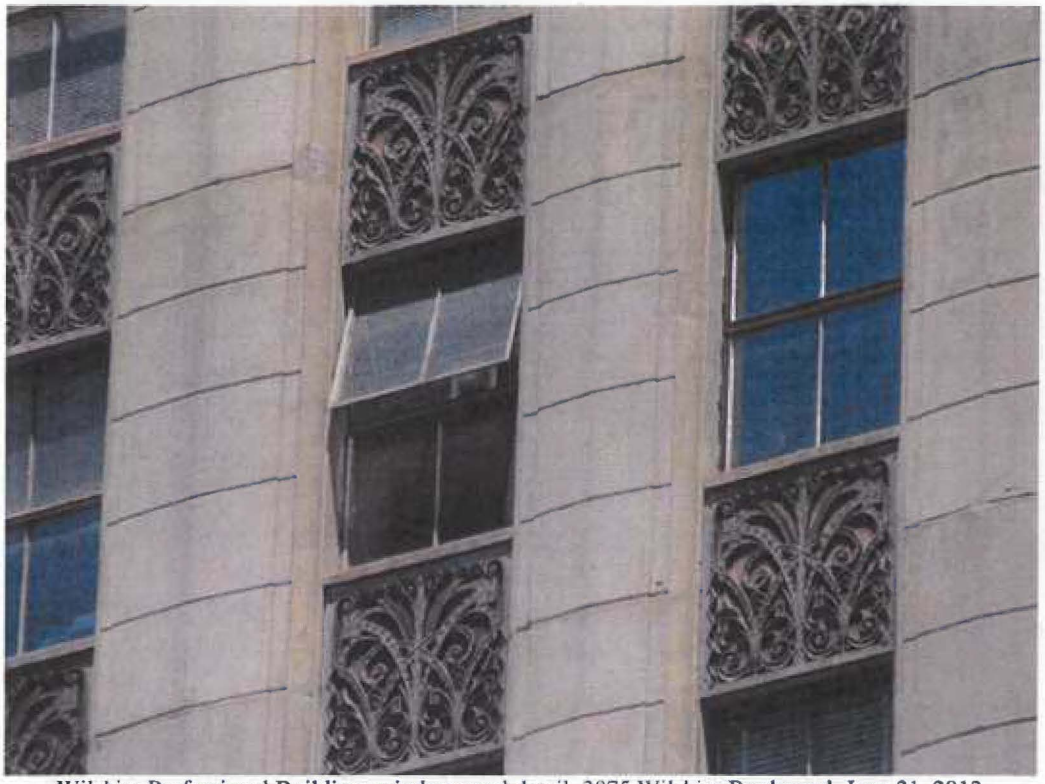
Wilshire Professional Building, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, 3875 Wilshire Boulevard, June 21, 2013

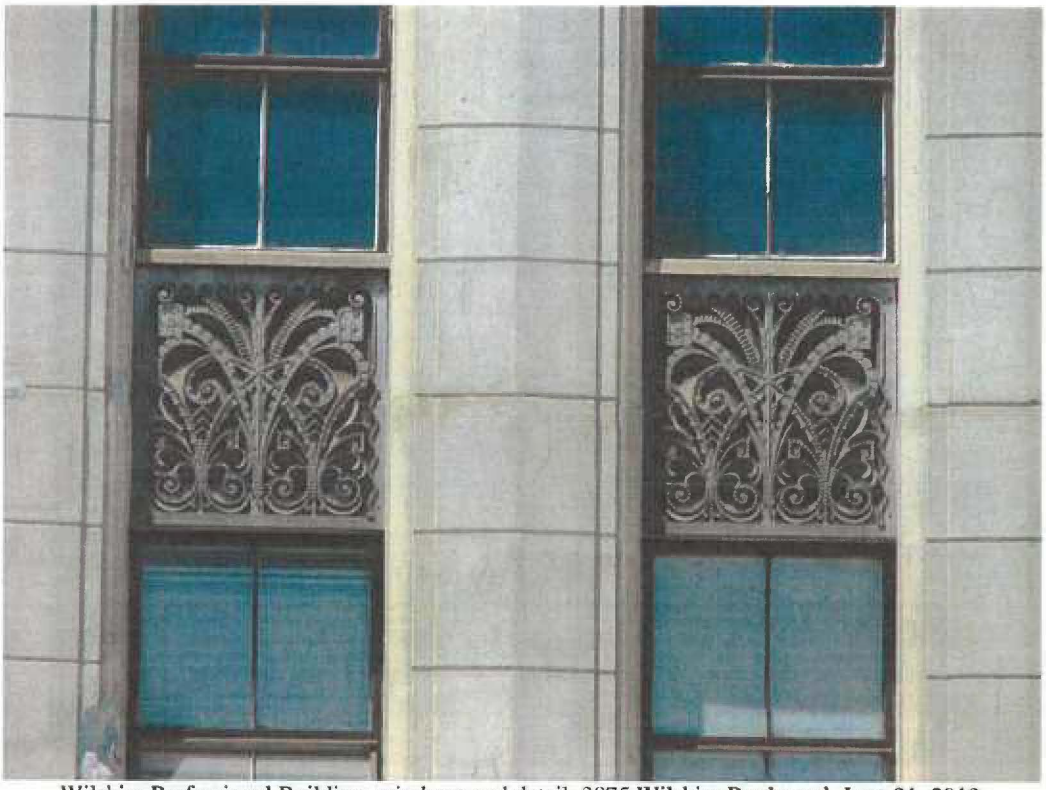
Wilshire Professional Building, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, rooftop light, 3875 Wilshire Boulevard, June 21, 2013



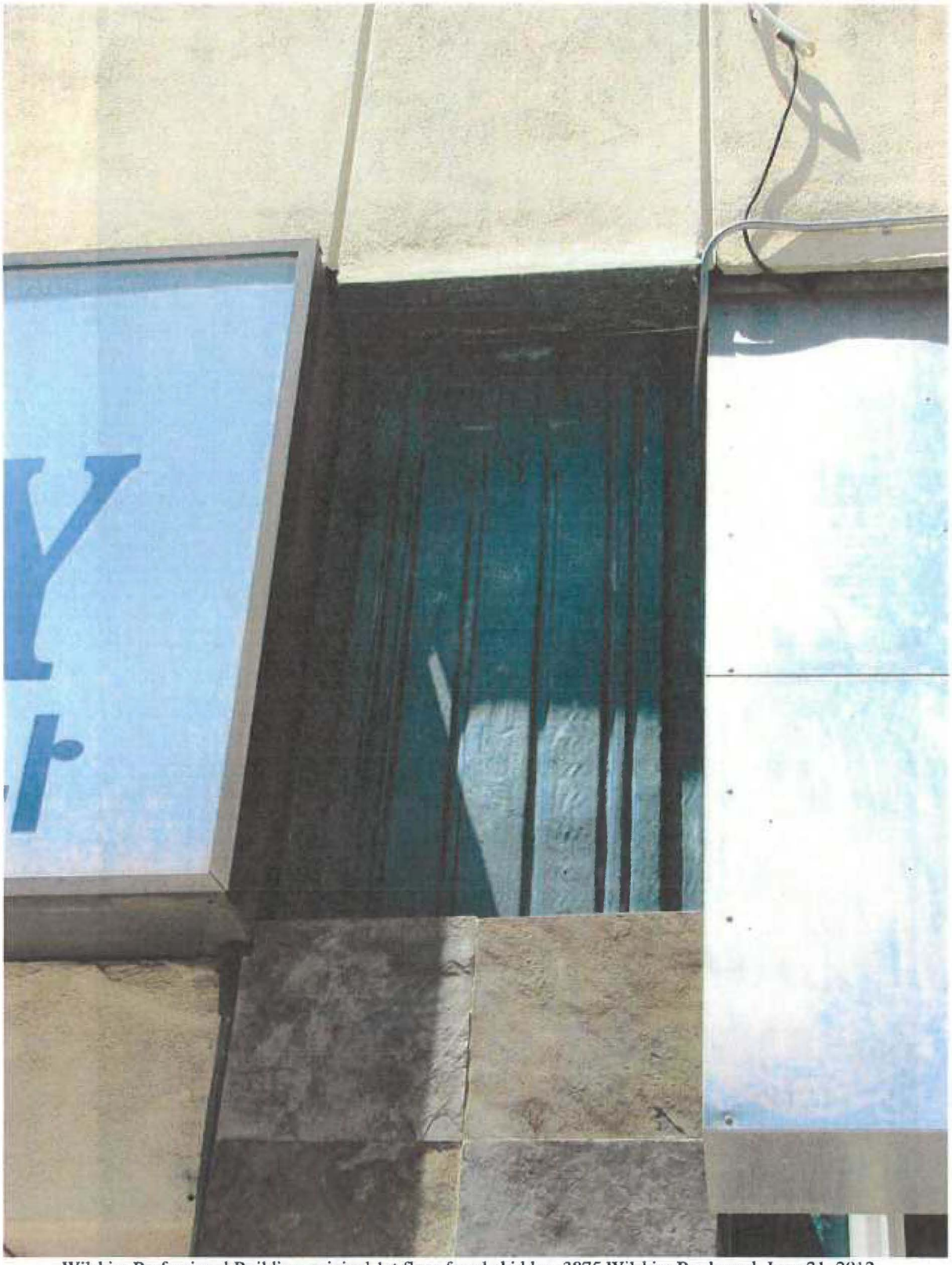
Wilshire Professional Building, windows and detail, 3875 Wilshire Boulevard, June 21, 2013



Wilshire Professional Building, windows and detail, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, 2nd floor detail, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, artit's rendering at construction, 3875 Wilshire Boulevard, c1929

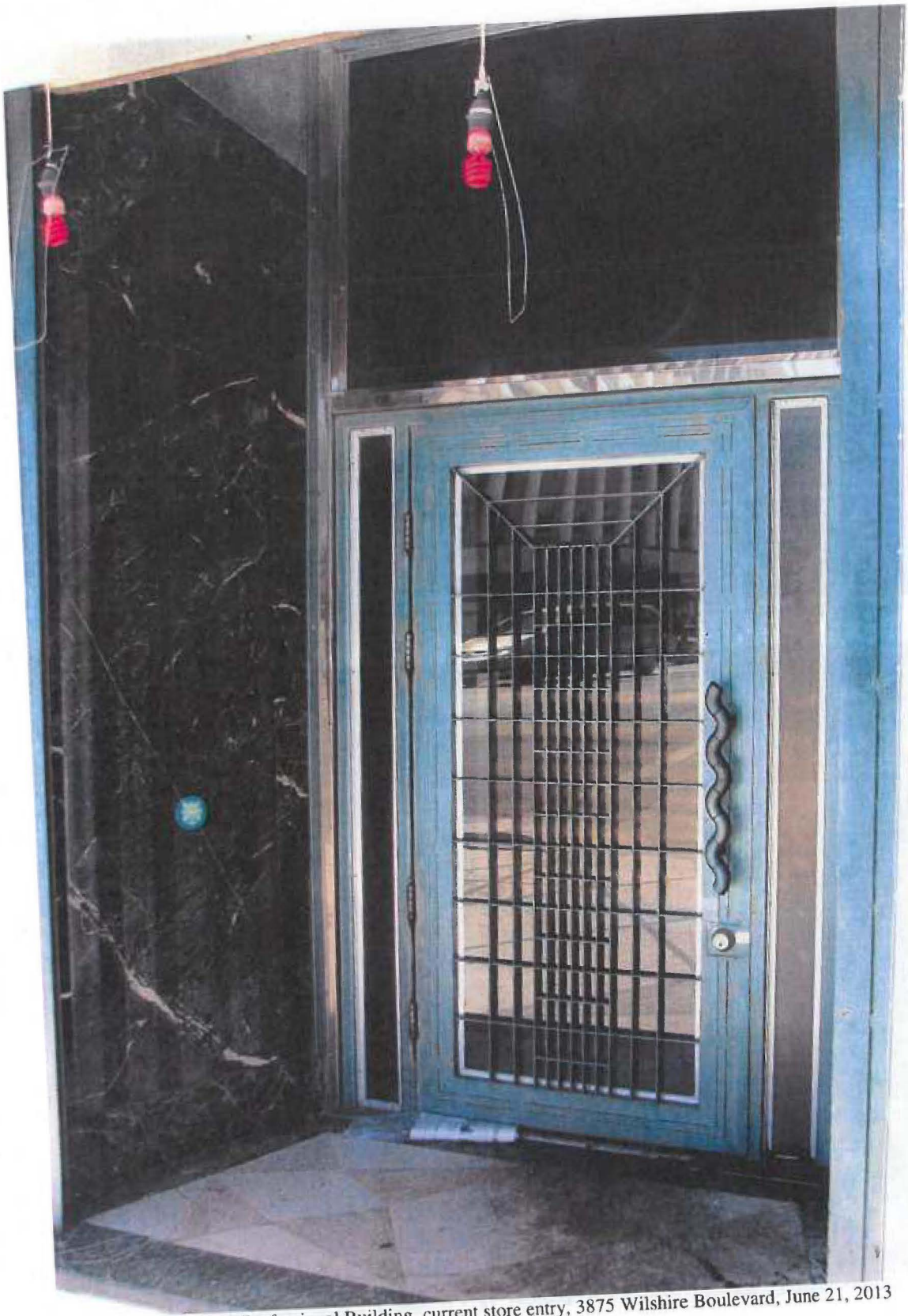


Wilshire Professional Building, original 1st floor facade hidden, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, 3875 Wilshire Boulevard, circa 1938

Wilshire Professional Building, current from entry, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, original entry, 3875 Wilshire Boulevard, c1930



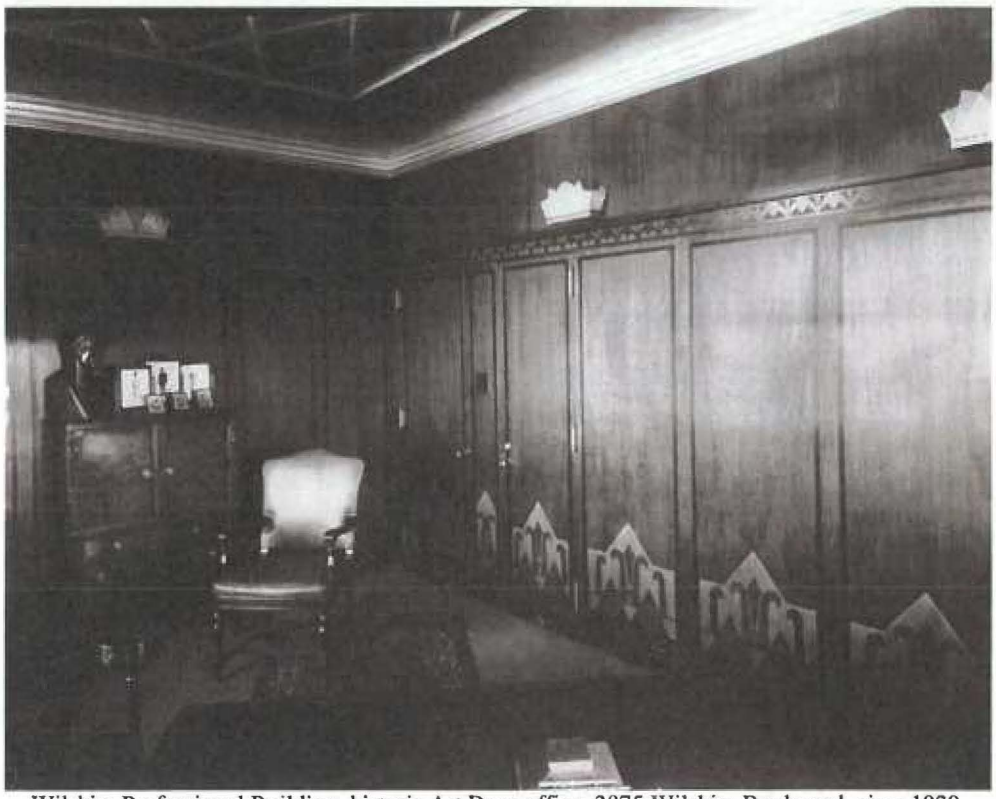
Wilshire Professional Building, current store entry, 3875 Wilshire Boulevard, June 21, 2013

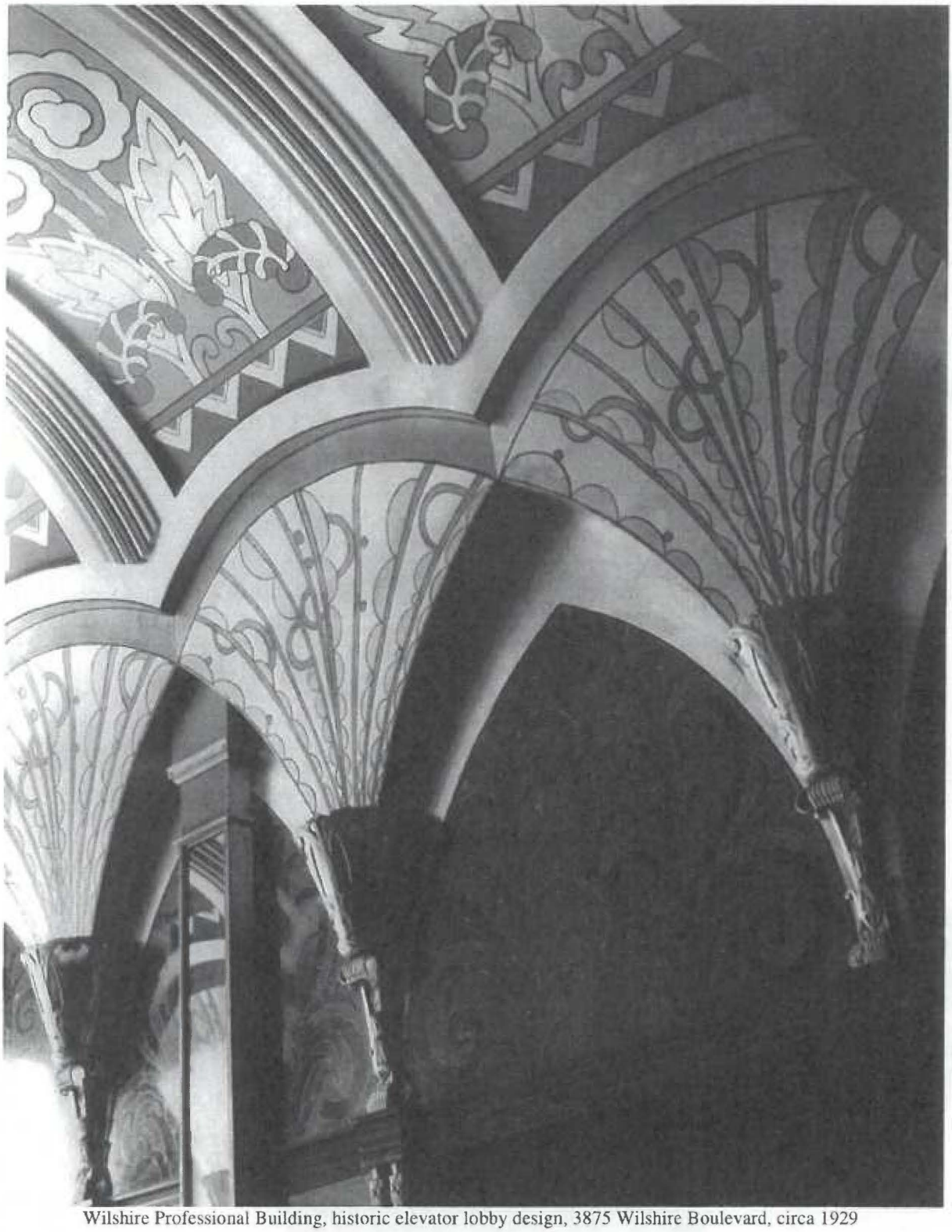
Wilshire Professional Building, current main lobby, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building, original soda fountain, 3875 Wilshire Boulevard, circa 1929

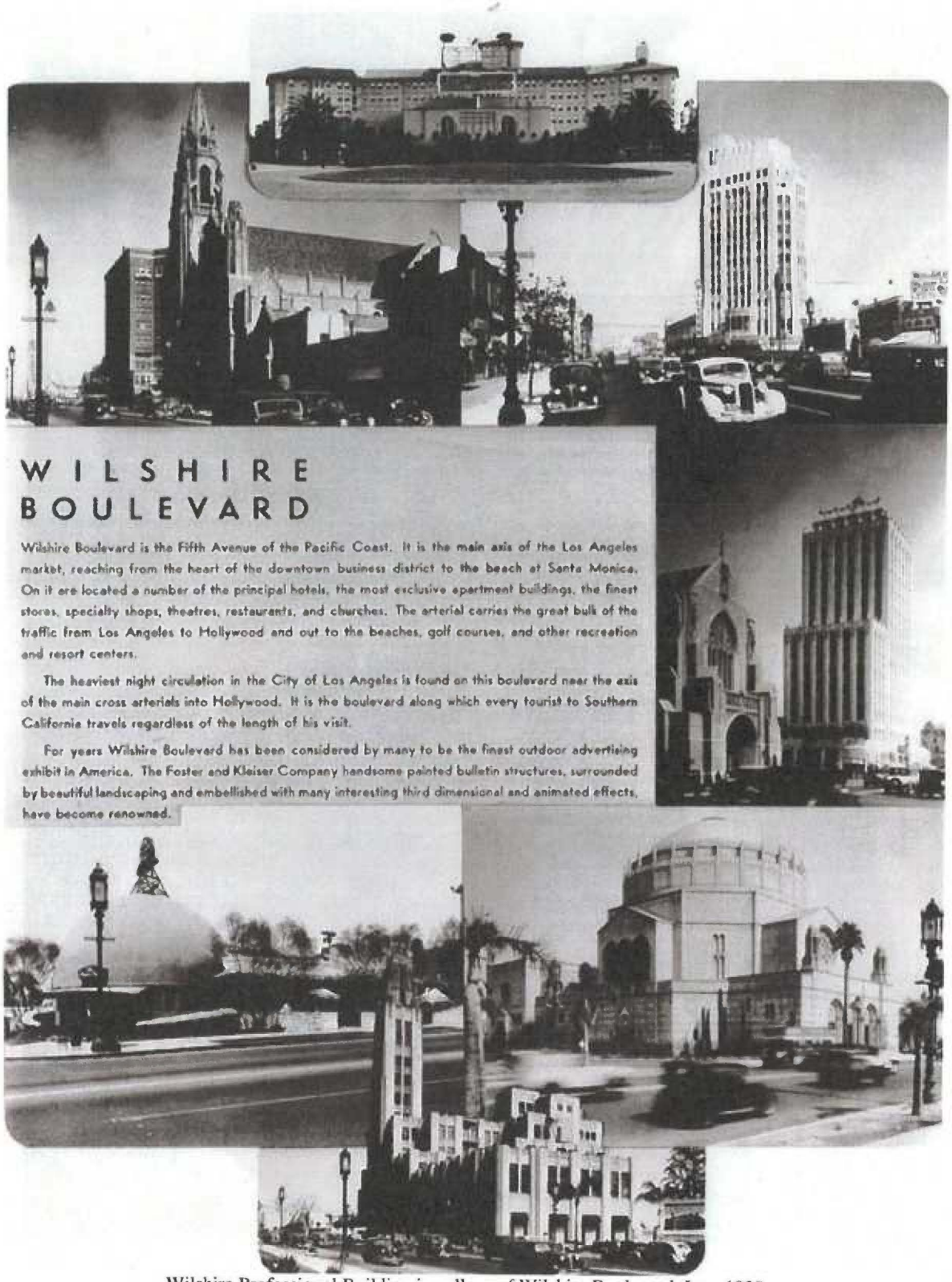
Wilshire Professional Building, original look of elevator lobby, 3875 Wilshire Boulevard, circa 1929

Wilshire Professional Building, historic upstairs lobby, 3875 Wilshire Boulevard, circa 1929


Wilshire Professional Building, historic Art Deco office, 3875 Wilshire Boulevard, circa 1929



Wilshire Professional Building, historic elevator lobby design, 3875 Wilshire Boulevard, circa 1929



Wilshire Professional Building in collage of Wilshire Boulevard, Late 1930s

Wilshire Professional Building, garage entrance, 3875 Wilshire Boulevard, June 21, 2013

Wilshire Professional Building seen in context on Wilshire, Circa 1937

Wilshire Professional Building, 3875 Wilshire Boulevard, June 21, 2013